PROPOSED DEVELOPMENT

490 TAUNTON ROAD EAST, OSHAWA, ONTARIO

CONSULTANTS:

ARCHITECT:

CIANFRONE ARCHITECT INC.

STRUCTURAL ENGINEER:

D.G. BIDDLE & ASSOCIATES

MECHANICAL & ELECTRICAL ENGINEER:

D.G. BIDDLE & ASSOCIATES

SITE ENGINEERING:

D.G. BIDDLE & ASSOCIATES

SITE GRADING AND SERVICING DRAWING LIST:

ARCH. DRAWING LIST:

SP.1 - SITE PLAN
A0.1 - DRAWING INFORMATION
A0.2 - FIRE SEPARATION PLANS 8
A1.0 - FOUNDATION PLAN
A1.1 - BASEMENT FLOOR PLAN
A1.2 - FIRST FLOOR PLAN
A1.3 - SECOND FLOOR PLAN
A1.4 - THIRD FLOOR PLAN
A1.5 - FOURTH FLOOR PLAN
A1.6 - ROOF PLAN
A2.1 - SOUTH ELEVATION
A2.2 - NORTH ELEVATION

A2.3 - EAST ELEVATION
A2.4 - WEST ELEVATION
A3.1 - CROSS SECTION
A3.2 - LONGITUDINAL SECTION
A4.1 - STAIR DETAIL X91
A4.2 - STAIR X91 & ELEVATOR CROSS SECTION

A4.3 - STAIR DETAIL X92
A5.1 - WALL SECTIONS
A6.1 - DETAILS BLOW-UPS
A6.2 - DETAILS BLOW-UPS

A7.1 - BASEMENT & FIRST FLR CEILING PLAN
A7.2 - TYPICAL 2nd to 4th FLRS CEILING PLAN
A8.1 - KITCHEN/WASHROOM ELEVATIONS

STRUCTURAL DRAWING LIST:

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MECHANICAL DRAWING LIST

._ - -

ELECTRICAL DRAWING LIST:

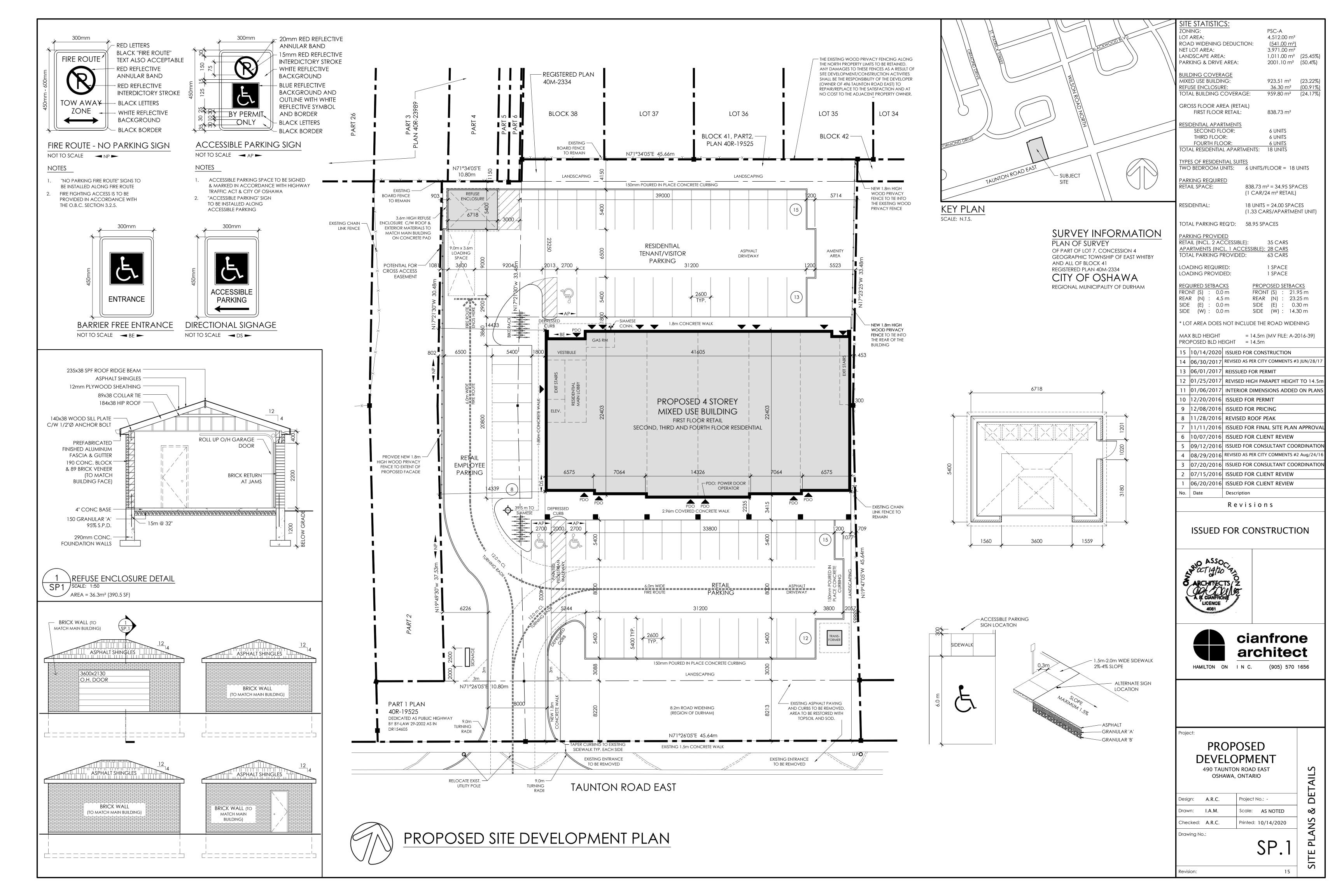
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15	10/14/2020	ISSUED FOR CONSTRUCTION
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
12	01/25/2017	REVISED HIGH PARAPET HEIGHT TO 14.5n
11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
10	12/20/2016	ISSUED FOR PERMIT
9	12/08/2016	ISSUED FOR PRICING
8	11/28/2016	REVISED ROOF PEAK
7	11/11/2016	ISSUED FOR FINAL SITE PLAN APPROVA
6	10/07/2016	ISSUED FOR CLIENT REVIEW
5	09/12/2016	ISSUED FOR CONSULTANT COORDINATIO
4	08/29/2016	REVISED AS PER CITY COMMENTS #2 Aug/24/1
3	07/20/2016	ISSUED FOR CONSULTANT COORDINATIO
2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

Revisions

ISSUED FOR CONSTRUCTION

Description



GENERAL NOTES: 1 - THE TERM "NIC" MEANS THAT WORK OF THE PROJECT THAT IS NOT BEING PERFORMED OR PROVIDED BY THE CONTRACT; THE TERM MEANS "NOT IN THIS CONTRACT" OR "NOT A PART OF THE WORK TO BE PERFORMED OR PROVIDED BY THE CONTRACTOR". .2 - "NIC" WORK IS SPECIFIED AND/OR INDICATED ON THE DRAWINGS AS AN AID TO THE CONTRACTOR IN SCHEDULING THE AMOUNT OF TIME AND MATERIALS NECESSARY FOR THE COMPLETION OF THE CONTRACT. - THE OWNER WILL AWARD SEPARATE CONTRACTS IN ACCORDANCE WITH ARTICLE GC.3.3 OF THE GENERAL CONDITIONS FOR PROVISION OF THE FOLLOWING: .1 - SUPPLY AND INSTALLATION OF VOICE/DATA/PA WIRING. (NOTE: CONTRACTOR TO PROVIDE ALL EMPTY CONDUITS WITH PULL WIRE) .2 - SUPPLY AND INSTALLATION OF SECURITY SYSTEMS .3 - SUPPLY AND INSTALLATION OF FURNITURE & EQUIPMENT. 1 - EXAMINE EXISTING CONDITIONS AT THE PLACE OF THE WORK AND IN THE VICINITY OF THE PLACE OF THE WORK AND MAKE PROVISION AND ALLOWANCES FOR THESE CONDITIONS IN THE EXECUTION OF THE WORK. 2 - EXAMINE BID DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS AND PAY SPECIAL ATTENTION TO LOCATIONS WHERE VARIOUS PARTS OF THE WORK MUST BE CAREFULLY CO-ORDINATED. ADVISE THE CONSULTANT OF CONFLICTING REQUIREMENTS AND REQUEST - BEFORE PROCEEDING WITH PARTS OF THE WORK EXAMINE PRECEDING WORK AND ENSURE THAT CONDITIONS ARE SATISFACTORY TO RECEIVE SUBSEQUENT WORK. DO NOT PROCEED WITH SUBSEQUENT PARTS OF THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE SPECIFIC DATE OR ISSUE IS SPECIFICALLY NOTED.

- CONFORM TO LATEST DATE OF ISSUE OF REFERENCED STANDARDS IN EFFECT ON DATE OF SUBMISSION OF BIDS, EXCEPT WHERE A

I - Protect existing Services, structures, landscaping and other items required to remain and newly installed work during CONSTRUCTION WITH SECURE AND DURABLE COVERINGS, BARRICADES OR GUARDS SUITABLE FOR THE VARIOUS CONDITIONS. PERFORM THE WORK IN A MANNER TO AVOID DAMAGE.

2 - PROVIDE PROTECTION AGAINST THE ELEMENTS TO MAINTAIN PRODUCTS AND INSTALLATIONS FROM DAMAGE AND DETERIORATION.

OBSERVE AND ENFORCE ALL CONSTRUCTION SAFETY MEASURES, AS CONTAINED IN THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS, THE CURRENT REGULATIONS OF THE MINISTRY OF THE ENVIRONMENT, AND OTHER REQUIREMENTS OF FEDERAL, PROVINCIAL, MUNICIPAL AND OTHER AUTHORITIES HAVING JURISDICTION.

2 - FOR THE PURPOSE OF THE OCCUPATIONAL HEALTH & SAFETY ACT. THE CONTRACTOR SHALL BE DESIGNATED THE CONSTRUCTOR, AND SHALL

SAFETY PROGRAM FOR ANYONE WHO GETS PAID FOR SERVICES ON SITE INCLUDING MANAGEMENT STAFF, LABOUR, DELIVERY DRIVES, SERVICE PERSONNEL AND OTHERS INVOLVED FOR SERVICES ON SITE. 3 - JOINT HEALTH AND SAFETY COMMITTEE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT AND OPERATION OF THE JOINT HEALTH AND SAFETY COMMITTEE AS REQUIRED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT. 4 - Provide and maintain temporary ladders and stairs as required during construction. Provide suitable handrails and

ASSUME THE RESPONSIBILITIES OF THE CONSTRUCTOR AS SET OUT IN THAT ACT AND ITS REGULATIONS. BE RESPONSIBLE TO PROVIDE FULL

SUBSTANTIAL BARRICADES AROUND ALL OPENINGS FOR PROTECTION OF WORKMAN. LADDERS AND HANDRAILS WILL BE STRONGLY CONSTRUCTED AND WILL COMPLY WITH ALL REQUIREMENTS OF SAFETY AUTHORITIES HAVING JURISDICTION OVER THE WORK. 5 - BE RESPONSIBLE FOR DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY STRUCTURAL AND OTHER TEMPORARY FACILITIES. ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN APPROPRIATE DISCIPLINES TO PERFORM THESE FUNCTIONS WHERE REQUIRED BY LAW OR BY CONTRACT DOCUMENTS AND IN ALL CASES WHERE SUCH TEMPORARY FACILITIES AND THEIR METHOD OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.

.6 - PROVIDE DETAILED PROCEDURES FOR SAFE HANDLING STORAGE AND USE OF HAZARDOUS MATERIALS. LIST SPECIAL PRECAUTIONS AND SAFE CLEAN UP AND DISPOSAL PROCEDURES. CONFORM TO ENVIRONMENTAL PROTECTION ACT AND OTHER REQUIREMENTS OF AUTHORITIES FOR DISPOSAL AND CLEAN UP REQUIREMENTS.

06 - WHMIS - WORKPLACE HAZARDOUS MATERIALS INFORMATION SYSTEM REQUIREMENT COMPLY WITH WORKPLACE HAZARDOUS MATERIALS INFORMATION SYSTEM IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND

SAFETY ACT (OSHA) REQUIREMENTS. ! - OBTAIN FROM THE OWNER, WHERE APPLICABLE, A LIST AND MSDS OF HAZARDOUS MATERIALS THAT MAY BE HANDLED, STORED OR USED BY OWNER'S EMPLOYEES AND/OR OTHER CONTRACTORS RETAINED BY THE OWNER AT LOCATION WHERE WORK OF THIS CONTRACT WILL BE

- THE CONTRACTOR SHALL BE FULLY FAMILIAR AND COMPLY WITH ALL APPLICABLE ENVIRONMENTAL ACTS, REGULATIONS, AND MUNICIPAL BY-LAWS FOR ENVIRONMENTAL REQUIREMENTS AMENDED FROM TIME TO TIME. UNDER THE OCCUPATIONAL HEALTH AND SAFETY ACT IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT APPROPRIATE WORK PRACTICES ARE FOLLOWED.

- ORDER PRODUCTS IN ADVANCE OF REQUIREMENT FOR INSTALLATION AND SCHEDULE DELIVERY TO MINIMIZE STORAGE AT THE PLACE OF WORK, BUT WITHOUT CAUSING DELAYS DUE TO LATE DELIVERY. .2 - STORE PRODUCTS IN SUITABLE ACCOMMODATION. MAINTAIN ENVIRONMENT RECOMMENDED BY THE PRODUCTS MANUFACTURERS.

- INSTALL FASTENERS, ANCHORS, BRACES AND SUPPORTS REQUIRED TO MAINTAIN INSTALLATIONS ATTACHED TO THE BASIC BUILDING STRUCTURE OR TO FINISHED FLOORS, WALLS AND CEILINGS IN A SECURE AND RIGID MANNER CAPABLE OF WITHSTANDING THE DEAD WEIGHT OF THE INSTALLED ITEM, LIVE LOADS, SUPERIMPOSED DEAD LOADS AND VIBRATIONS.

- USE FASTENERS COMPATIBLE WITH STRUCTURAL REQUIREMENTS, FINISHES AND TYPES OF MATERIAL TO BE CONNECTED. DO NOT USE MATERIALS SUBJECT TO ELECTROLYTIC ACTION OR CORROSION WHERE CONDITIONS WILL BE LIABLE TO CAUSE SUCH ACTION. 3 - VERIFY THAT FASTENERS, ANCHORS, BRACES AND SUPPORTS FOR SUSPENDED INSTALLATIONS, AND THE STRUCTURE TO WHICH THEY ARE TO BE SECURED ARE DESIGNED TO SUPPORT THE LOAD REQUIREMENTS INCLUDING A SAFETY FACTOR. 4 - CONDUCT ON-SITE TESTS OF INSTALLED ANCHORS AND FASTENERS, EMPLOYING AN INDEPENDENT TESTING LABORATORY ACCEPTABLE TO

THE CONSULTANT USING PROPERLY ENGINEERED AND CALIBRATED FORCE-MEASURING METERS. - PERFORM CUTTING AND REMEDIAL WORK USING SPECIALISTS FAMILIAR WITH THE PRODUCTS AFFECTED AND PERFORM IN A MANNER TO NEITHER DAMAGE NOR ENDANGER THE WORK. PERFORM CUTTING AND REMEDIAL WORK AS REQUIRED TO MAKE THE SEVERAL PARTS OF THE

WORK COME TOGETHER PROPERLY. CO-ORDINATE CUTTING AND REMEDIAL WORK TO ENSURE THAT THIS REQUIREMENT IS KEPT TO A .1 - DO NOT CUT, BORE, OR SLEEVE LOAD-BEARING STRUCTURE WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT UNLESS SPECIFICALLY

DETAILED ON THE DRAWINGS.

1 - EXAMINE, PROTECT, AND RESTORE IF DAMAGED BY THE EXECUTION OF THE WORK, ALL PROPERTY ADJACENT TO THE WORK OR THAT MAY BE AFFECTED BY THE WORK, INCLUDING ALL EQUIPMENT AND SERVICES WITHIN THE PROPERTIES. 13 - RECORD DRAWINGS AND SPECIFICATIONS 1 - OBTAIN AND KEEP IN THE FIELD OFFICE AT THE PLACE OF THE WORK ONE COMPLETE SET OF DRAWINGS, DETAILS AND SCHEDULES AND

ONE SET OF SPECIFICATIONS AND ADDENDA. DO NOT USE THESE SETS FOR DAILY WORKING PURPOSES. - ON THESE DOCUMENTS NEATLY, LEGIBLY AND ACCURATELY NOTE CHANGES MADE DUE TO SITE CONDITIONS, ADDENDA, CHANGE ORDERS AND FIELD INSTRUCTIONS INCLUDING CHANGES SHOWN ON SUPPLEMENTARY DRAWINGS ISSUED WITH THESE NAMED DOCUMENTS. NOTE ALSO THE REFERENCE OR AUTHORITY FOR THE CHANGE AND THE DATE OF ISSUE. .3 - MARK INVERT ELEVATIONS OF UNDERGROUND SERVICES.

I - REVIEW INFORMATION PROVIDED IN THE MAINTENANCE INSTRUCTIONS AND DATA MANUAL WITH THE OWNER'S REPRESENTATIVES TO ENSURE THE OWNER HAS A COMPLETE UNDERSTANDING OF THE EQUIPMENT AND SYSTEMS AND THEIR OPERATION.

.2 - ENSURE MAINTENANCE MANUALS AND AS-BUILT DRAWINGS ARE SUBMITTED IN APPROVED FORM TO THE OWNER PRIOR TO THE OWNER'S TRAINING AND INSTRUCTION OF SYSTEMS AND EQUIPMENT.

1 - LINES, LEVELS AND LOCATIONS FOR BUILDING: .2 - EXISTING GRADES, LINES, AND SITE CONDITIONS SHOWN ON DRAWINGS WERE TAKEN FROM SURVEY INFORMATION ESTABLISHED BY PERSONS ENGAGED DIRECTLY BY OWNER. THE ACCURACY OF SURVEY INFORMATION IS NOT THE CONSULTANT'S RESPONSIBILITY. 3 - EMPLOY AN ONTARIO LAND SURVEYOR TO: .1 - LAY OUT BUILDING ON SITE

.2 - ESTABLISH PERMANENT BENCH MARK, OR MARKERS AS WIDELY SEPARATED AS POSSIBLE .3 - VERIFY ELEVATIONS OF FLOOR LEVELS AS CONSTRUCTION PROCEEDS, AND RELATE TO BENCH MARK DATUM .4 - VERIFY ACCURACY OF SITE DIMENSIONS SHOWN ON DRAWING .5 - PROVIDE A SURVEY TO VERIFY LOCATION OF BUILDING ON SITE.

.6 - PROVIDE A SURVEY TO VERIFY LOCATION OF BUILDING RELATED TO PROPERTY LINES WHEN FOUNDATION WALLS ARE COMPLETED TO GRADE LEVEL.

- ENSURE THAT POSITIVE DRAINAGE IS PROVIDED TO ROOF, FLOOR, AND SITE DRAINS AND CATCH BASINS, AS SET IN THEIR FINAL POSITIONS. PROVIDE CONSTANT SLOPES FOR DRAINED SURFACES TO DRAINS AND DRAINAGE COURSES. . - VERIFY THE EXTENT OF EACH AREA SERVED BY A DRAIN, OR DRAINAGE COURSE, TO ELIMINATE POSSIBLE UNDRAINED SURFACES.

COORDINATE THE WORK OF INVOLVED SECTIONS BEFORE EACH PROCEEDS. 1 - IMMEDIATELY UPON BEING AWARDED THE CONTRACT, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A JOB MEETING TO BE HELD ON THE SITE, AT WHICH TIME, THE OWNER, CONSULTANTS, QUALIFIED REPRESENTATIVES OF THE CONTRACTOR AND HIS SUBCONTRACTORS AS REQUIRED WILL BE IN ATTENDANCE. 2 - THE CONTRACTOR SHALL CHAIR THE MEETING, RECORD THE MINUTES, AND DISTRIBUTE COPIES TO ALL ATTENDING PERSONS AND TWO

OUTSTANDING ITEMS THAT ARE CRITICAL TO THE WORK SCHEDULE. - CONTRACTOR SHALL MAKE COPIES AS REQUIRED TO ISSUE TO SUBCONTRACTORS WHOSE PART OF THE WORK IS PERTINENT TO THE DISCUSSIONS AT THE MEETING. CONTRACTOR TO ORGANIZED AND PRESIDE OVER SITE MEETINGS WITH SUBCONTRACTORS AND SUPPLIERS AS REQUIRED TO CO-ORDINATE, SCHEDULE AND EXPEDITE THE WORK. HOLD THESE MEETINGS SEPARATE FROM THE OWNER/CONSULTANT/CONTRACTOR MEETINGS.

COPIES TO THE OWNER. EACH PROJECT MEETING REPORT SHALL INCLUDE AN OUTLINE OF THE PROGRESS OF THE WORK AND LIST ALL

MAINTAIN A PERMANENT WRITTEN RECORD ON SITE OF THE PROGRESS OF THE WORK. THIS RECORD SHALL BE AVAILABLE TO THE OWNER AT THE SITE, AND A COPY SHALL BE FURNISHED TO HIM ON REQUEST. THE RECORD SHALL CONTAIN: .1 - DATES OF THE COMMENCEMENT AND COMPLETION OF THE WORK OF EACH TRADE IN EACH AREA OF THE PROJECT.

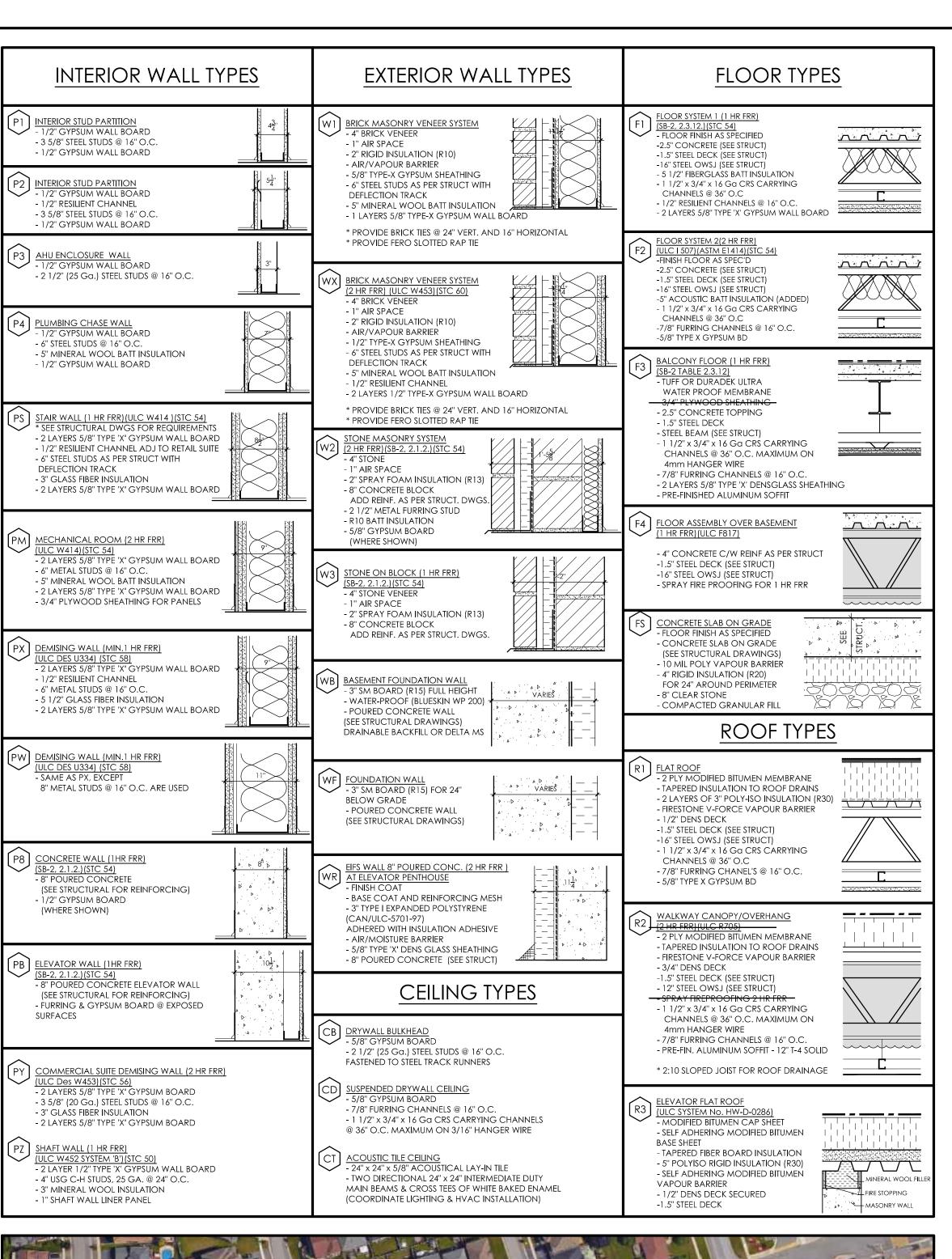
.2 - WORK FORCE ON PROJECT DAILY .3 - VISIT TO SITE BY PERSONNEL OF OWNER, CONSULTANTS, JURISDICTIONAL AUTHORITIES AND TESTING COMPANIES.

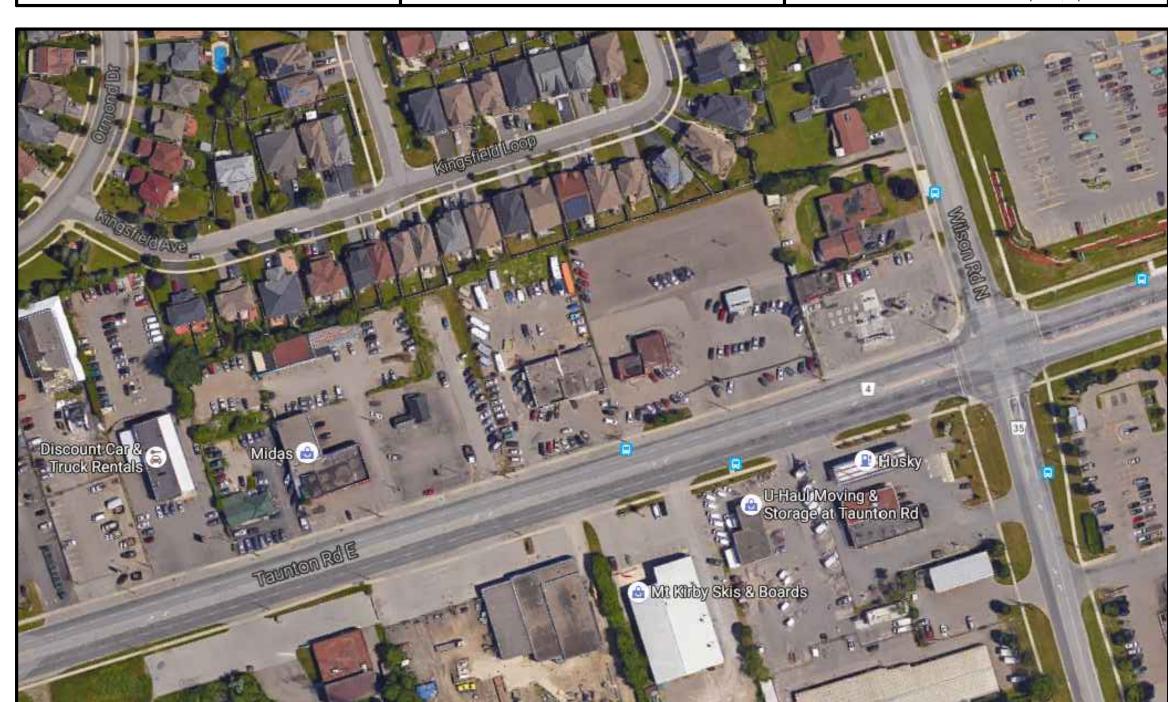
1 - WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.

2 - REVIEW SUBMITTALS PRIOR TO SUBMISSION TO CONSULTANT. 3 - THE CONSULTANT'S REVIEW WILL NOT INCLUDE REVIEW OF DIMENSIONS, QUANTITIES, CALCULATIONS, WEIGHTS, FABRICATION PROCESSES, CONSTRUCTION MEANS OR METHODS, THE CO-ORDINATION OF TRADES, OR SAFETY FACTORS RELATING TO THE CONSTRUCTION FOR WHICH THE CONTRACTOR HAS THE SOLE RESPONSIBILITY IN CONNECTION THEREWITH. SHOULD ANY ERRORS IN DIMENSIONS, OR INTERFERENCES WITH OTHER WORK BE NOTICED BY THE CONSULTANT IN HIS REVIEW OF THE SHOP DRAWINGS. THE ATTENTION OF THE CONTRACTOR WILL BE CALLED TO THEM, BUT REVIEW OF SHOP BY THE CONSULTANT SHALL NOT, IN ANY WAY WHATSOEVER, RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES INDICATED IN GC 3.10 SHOP DRAWINGS. .4 - KEEP ONE REVIEWED COPY OF EACH SUBMISSION AT THE PLACE OF THE WORK.

. 1 - PROVIDE AND MAINTAIN AN EFFECTIVE QUALITY CONTROL PROGRAM AND PERFORM SUFFICIENT INSPECTIONS AND TESTS OF ALL ITEMS OF WORK, INCLUDING THOSE OF SUBCONTRACTORS, TO ENSURE COMPLIANCE WITH CONTRACTOR DOCUMENTS. - INSPECTION OR TESTS REQUIRED BY CODES, ORDINANCES OR BY AUTHORITIES HAVING JURISDICTION SHALL BE THE RESPONSIBILITY OF, AND PAID FOR BY, THE CONTRACTOR, UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS.

THE OWNER MAY APPOINT AN INDEPENDENT INSPECTION AND TESTING COMPANY TO CARRY OUT INSPECTION AND TESTING OF THE WORK FOR CONFORMANCE TO THE CONTRACT DOCUMENTS FOR THE OWNER'S OWN QUALITY CONTROL. SUCH COSTS FOR INSPECTION AND TESTING WILL BE PAID BY A SPECIFIED CASH ALLOWANCE.





					CHANGE OF USE	☐ ADD								
2	MA IOR OCCIJI	PANCY(S)					KATION						3	1.2.1.(1)
3	BUILDING AREA	OR OCCUPANCY(S) GROUP 'C' & GROUP 'E' NG AREA (m²) EXISTING: N/A NEW: 928 m²				DIV A, 1.4.1.2								
4	GROSS AREA	. ()			EXISTING: N/A		: 3,712 m ²						DIV A, 1.4.1.2	
5	NUMBER OF STO	OREYS			ABOVE GRADE:		OW GRADE: 1							DIV A, 1.4.1.2
6	HEIGHT OF BUILDING (m) 14.5 m (47'-6 1/2") FIRST FLR TO T.O. HIGH PARAPET													
7	NUMBER OF STE	REETS / ACC	CESS ROUTES		1								3.2.2.	10 & 3.2.5.5
8	BUILDING CLAS	SIFICATION		1	OBC 3.2.2.45 & O	BC 3.2.2.58							3.2	2.2.2083
9	SPRINKLER SYST	EM PROPOS	SED		STORAGE ROOM	X ENTIR	RE BUILDING							
					REFUGE ROOM	GRO	OUND FLOOR OF	1LY					3.2	2.2.2083
						☐ IN LIE	EU OF ROOF RA	ING					;	3.2.1.5
							REQUIRED						3	3.2.2.17
10	STANDPIPE REG					NO NO								3.2.9
11	FIRE ALARM REG		ADEQUATE			ON D								3.2.4
13	HIGH BUILDING	ER SERVICE/SUPPLY IS ADEQUATE YES NO I BUILDING YES NO							3.2.6					
14	PERMITTED COI		٧		COMBUSTIBLE		I-COMBUSTIBLE		⊠ BC	OTH			3.2	2.2.2083
	ACTUAL CONST	TRUCTION			COMBUSTIBLE	NON	I-COMBUSTIBLE		— В вс			3.2.2.45		
15	MEZZANINE(S) A	AREA (m²)			N/A								3.2.	1.1.(3)-(9)
16	OCCUPANT LO	AD BASED	ON	X :	m²/PERSON	⊠ DESIG	GN OF BUILDING	è						3.1.17
			GROSS FLO	OOR AREA				UNITS			OCCUP <i>A</i>	ANCY		
	FLOOR			IRS & SHAFTS	OCCUPANCY	1 BEDF UN		BEDROOM UNITS		TOTAL # OF UNITS	LOAI			
	1st FLOOF		926 m² (9,9		GROUP 'E'	(0	0		0	250		1 PERS	SON/3.70 m ²
	2nd FLOO		933 m² (10,		GROUP 'C'		0	6		6	24			
	3rd FLOO		933 m² (10, 933 m² (10,		GROUP 'C'		0	6		6	24			
	TOTAL		3,723 m² (40				0	18		18	321			
17	DADDIED FOR	VECION!				N VEC		□ NO /5::	/DI A 15 11					3.0
17	BARRIER-FREE D					YES (EXPLAIN)	NO (EX	rlain)				33 107	3.8
19	TIAZARDO03 30	DSTANCES		HORI7ONT	AL ASSEMBLIES		LAILAIN	<u> </u>	LISTE	D DESIGN NO.)83 & 3.2.1.4
.,	REQU	IRED			(HOURS)			(SCRIPTION (SB-2)			0,2,2,2	7 100 01 0121111
	FIR	E	SECO	ND FLOOR		2 HOUR				ULC I 507				
	RESIST <i>A</i>	ANCE	THIRD	THIRD & FOURTH FLOORS 1 HOU					S	B-2, 2.3.12.				
	RATING		ROOF	ROOF 0 HOURS -					-					
(F.R.R.)			F.R.R. OF		LISTED DESIGN NO.									
			MEMBERS			OR DESCRIPTION (SB-2)								
		SECON	SECOND FLOOR 2 HO			ULC/UL Des X518								
				THIRD & FOURTH FLOORS 1 HOU			ULC/UL Des X518							
	ROOF 0 HOURS -													
	OTHER LISTED DESIGN NO. F.R.R. OR DESCRIPTION (SB-2)													
	E			F.R.R. CORRIDORS 1 HO			· · ·						:	3.3.1.4
				EXIT STAIRS 1 HG										3.3.1.4
							DUR SB-2, 2.1.2. (8" MASONRY)						(3.5.3.1.
			MECH	MECHANICAL ROOMS 1 HG			OUR ULC DES U334						;	3.6.2.1
			JANITO	JANITOR'S ROOM 1 H			OUR ULC DES U334						3	.3.1.20.
		BETWE	BETWEEN OCCUPANCIES 1 & 2									3.1.3.1		
				BETWEEN SUITES 1 HC			OUR ULC DES U334						3.	3.4.2(1)
	00.4744.0504.0	. T.O. L. O.O.	LIOTELLOTION											
20		1	NSTRUCTION 	L.D.	LL3	PERMITTED		% F.R	• R	LISTED DESIGN	COMB.	СОМВ.	CONSTR.	3.2.3 NON COMB.
	WALL	1	(m²)	(m)	L/H OR H/L	MAX. % OF OPENINGS	- LAKOPOSED			OR DESCRIPTION	COMB. CONST.	NC	DNC. DDING	CONSTR.
	NORTH	57	74 m²	23.25 m	3.1:1	100%	40%	N/	/A	-	X			
	SOUTH	57	74 m²	33.01 m	3.1:1	100%	20%	N/	/A	-	X			
	EAST	35	58 m²	0.00 m	2:1	0%	0%	2 HO	DURS	ULC W453				X
	WEST	35	58 m²	13.37 m	2:1	100%	2%	N/	/A	-	X			
ONTA	RIO BUILDING	G CODE	- SB-10 - Z	ZONE 6										
	OPAQUE ELEM	ients		NON-	RESIDENTIAL			RESIDEN	NTIAL			PROVID	ED VALUES	
			ASS	SEMBLY MAX. U	INSULATION M	IN. R-VALUE	ASSEMBLY M	AX. U IN	SULATI	ON MIN. R-VALUE	ASSEMBLY U	-VALUE	INSULA	TION R-VALUE
ROOFS	ATION	A D (2) '' = =) ai				D 05 0 .				200
	BOVE GRADE	arone DEC	_ N	U - 0.039	R-25.0	J CI	U - 0.03 ⁴	7		R-25.0 ci	U - 0.03	o3		R-30.0 ci
MASS U - 0.0		U - 0.049	R-26.0 ci		U - 0.04	,	R-26.0 ci		U - 0.043		R-13 (0 + R-10.0 ci		
STEEL FRAMED & OTHER U - 0.049				R-26.0 CI R-13.0 + R-11.5 ci		U - 0.04		R-13.0 + R-11.5 ci		U - 0.035 (BRICK)			0 + R-10.0 ci	
		C - 0.067	R-15.0 ¢ R-11.5 Cl		C - 0.06		R-15.0 ci		U - 0.067		R-15.0 ci			
FLOORS					K-10.0 CI									
STEEL FRAMED & OTHER U		U - 0.032	R-38.0		U - 0.03	U - 0.032 R-38.0		U - 0.024		R	R-41.0 ci			
SLAB-ON-GRADE FLOORS														
UNHEATED F - 0.440			F - 0.440	R-15.0 for 36 in. + R-5.0 ci below		F - 0.440	F - 0.440 R-15.0 for 36 in. + R-5.0 ci below		F - 0.050		R-20.0 for 24 in.			
OPAQUE DOORS				3.5 3. 35.57		<u> </u>	3.5 31 501011					<u> </u>		
	IGING			U - 0.400	N/A	A	U - 0.400		N/A		U - 0.40	00		N/A
NON	-SWINGING			U - 0.400	N/A	۸	U - 0.400)		N/A	U - 0.40	00		N/A
					1	1					1		I	

ASSEMBLY MAX. U ASSEMBLY MAX. SHGC

0.35

0.35

0.35

0.35

U - 0.250

U - 0.350

U - 0.700

U - 0.450

ASSEMBLY U-VALUE

U - 0.250

U - 0.350

U - 0.700

U - 0.450

ASSEMBLY SHGC

0.35

0.35

0.35

0.35

ASSEMBLY MAX. U

U - 0.250

U - 0.350

U - 0.700

U - 0.450

FENESTRATION

METAL FRAMING - STOREFRONT

METAL FRAMING - ALL OTHER

RTICAL FENESTRATION NONMETAL FRAMING - ALL ASSEMBLY MAX. SHGC

0.35

0.35

0.35

0.35

NEW

ADDITION

ITEM ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9

PROJECT DESCRIPTION:

No.	Date	Revisions
1	06/20/2016	ISSUED FOR CLIENT REVIEW
2	07/15/2016	ISSUED FOR CLIENT REVIEW
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15	10/14/2020	ISSUED FOR CONSTRUCTION

O.B.C. REFERENCE

PART 3

ISSUED FOR CONSTRUCTION





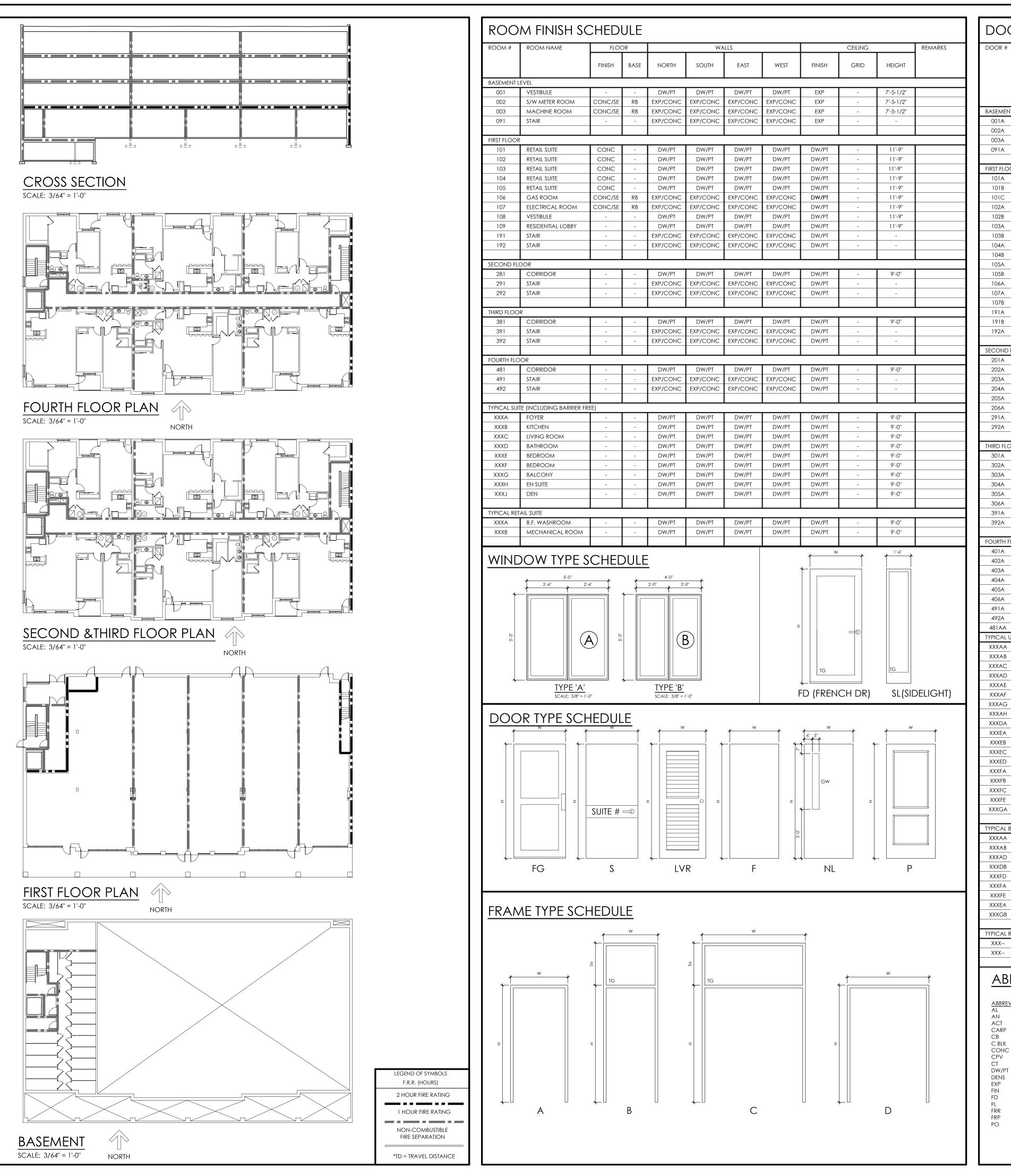
PROPOSED DEVELOPMENT

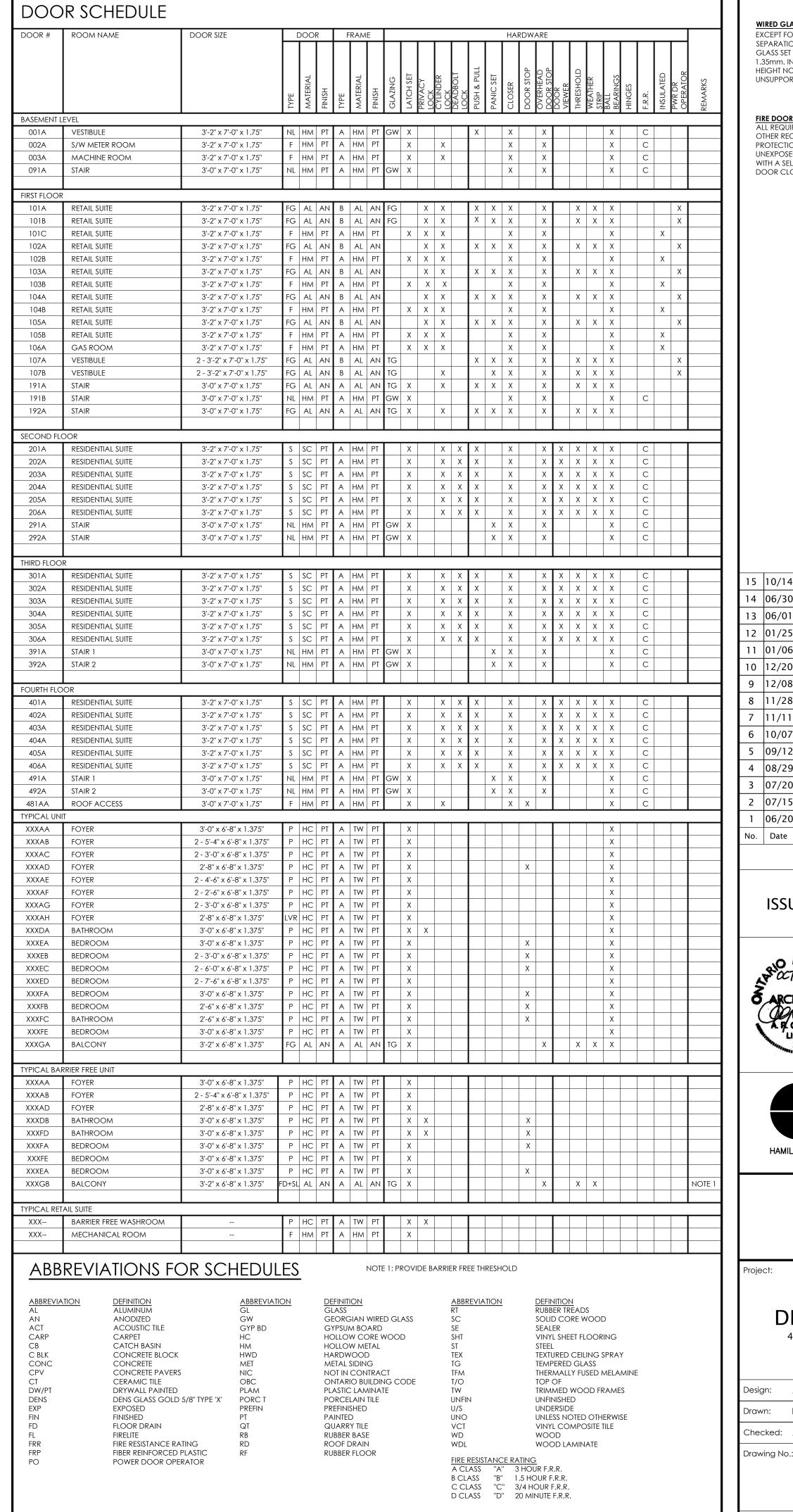
490 TAUNTON ROAD EAST OSHAWA, ONTARIO

A.R.C. Project No.: -Scale: N.T.S.

RMATION

Drawn: I.A.M. Checked: A.R.C. Printed: 10/14/2020 Drawing No.:





WIRED GLASS IN FIRE SEPARATIONS

EXCEPT FOR SEPARATION OF EXITS, OPENINGS IN $\frac{3}{4}$ HR AND 1 HR FIRE SEPARATIONS MAY BE PROTECTED WITH ATLEAST 6mm THICK WIRED GLASS SET IN FIXED STEEL FRAMES OF MINIMUM METAL THICKNESS OF 1.35mm. INDIVIDUAL PANES MUST NOT EXCEED 0.84m2, WITH NEITHER HEIGHT NOR WIDTH EXCEEDING 1.4m. THE MAXIMUM AREA UNSUPPORTED BY STRUCTURAL MULLIONS MUST NOT EXCEED 7.5m2.

ALL REQUIRED FIRE DOOR ASSEMBLIES MUST BE LABELED BY U.L.C. OR OTHER RECOGNIZED TESTING AGENCY FOR REQUIRED FIRE PROTECTION RATING AND MAXIMUM TEMPERATURE RISE ON THE UNEXPOSED SIDE OF THE DOOR. ALL FIRE DOORS MUST BE EQUIPPED WITH A SELF-CLOSING DEVICE AND A LATCH DESIGNED TO HOLD THI DOOR CLOSED AFTER EACH USE.

15 10/14/2020 ISSUED FOR CONSTRUCTION

14 06/30/2017 REVISED AS PER CITY COMMENTS #3 JUN/28/ 13 |06/01/2017 | REISSUED FOR PERMIT

12 01/25/2017 REVISED HIGH PARAPET HEIGHT TO 14.5n 11 01/06/2017 INTERIOR DIMENSIONS ADDED ON PLANS 10 |12/20/2016 | ISSUED FOR PERMIT

9 12/08/2016 ISSUED FOR PRICING 8 |11/28/2016 | REVISED ROOF PEAK 7 |11/11/2016 | ISSUED FOR FINAL SITE PLAN APPROVA

6 10/07/2016 ISSUED FOR CLIENT REVIEW 5 |09/12/2016 ISSUED FOR CONSULTANT COORDINATION 4 | 08/29/2016 | REVISED AS PER CITY COMMENTS #2 Aug/24/1

3 07/20/2016 ISSUED FOR CONSULTANT COORDINATION 07/15/2016 ISSUED FOR CLIENT REVIEW 06/20/2016 ISSUED FOR CLIENT REVIEW

Revisions

ISSUED FOR CONSTRUCTION





HAMILTON ON I N C. (905) 570 1656

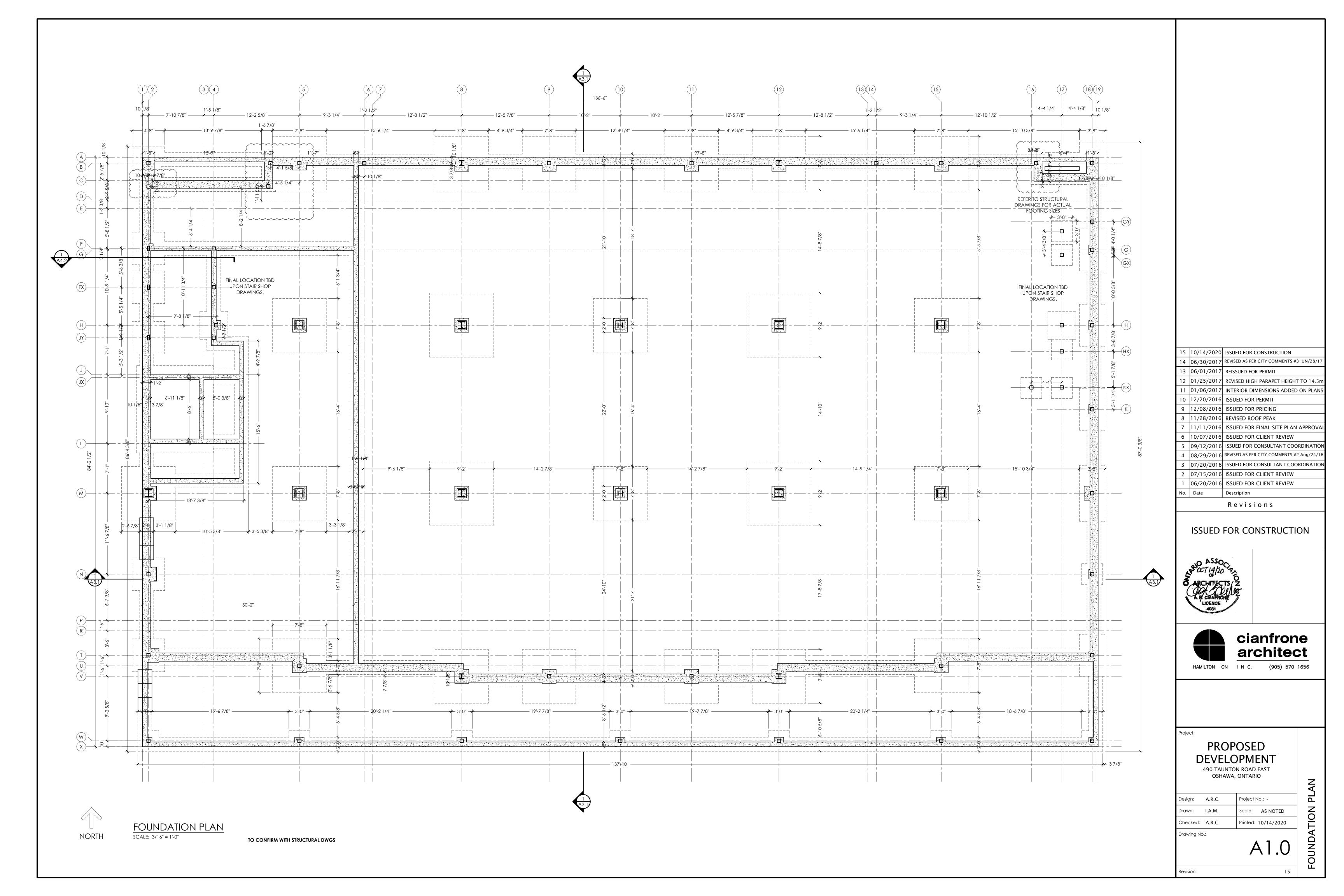
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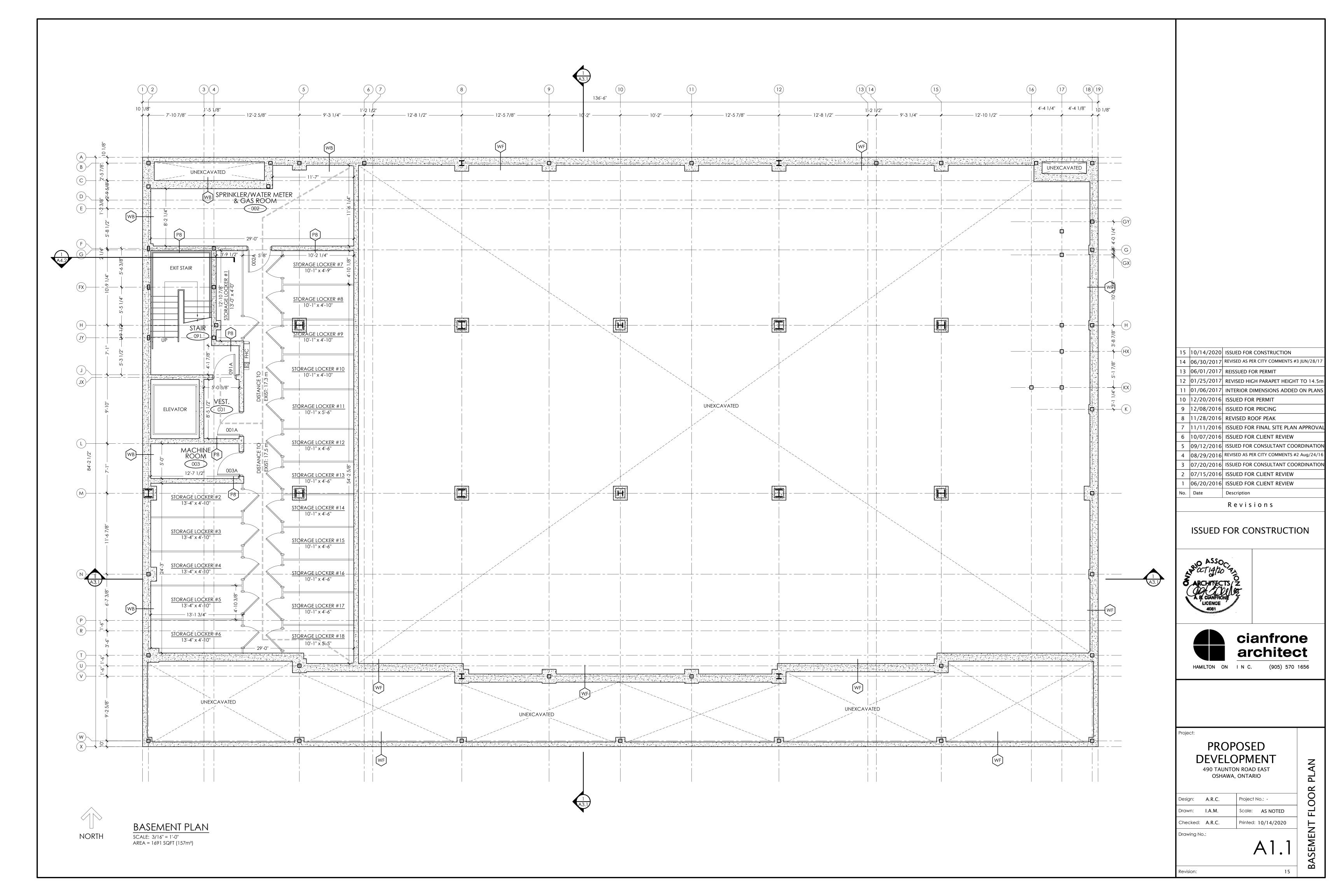
490 TAUNTON ROAD EAST OSHAWA, ONTARIO Design: A.R.C. Project No.: -

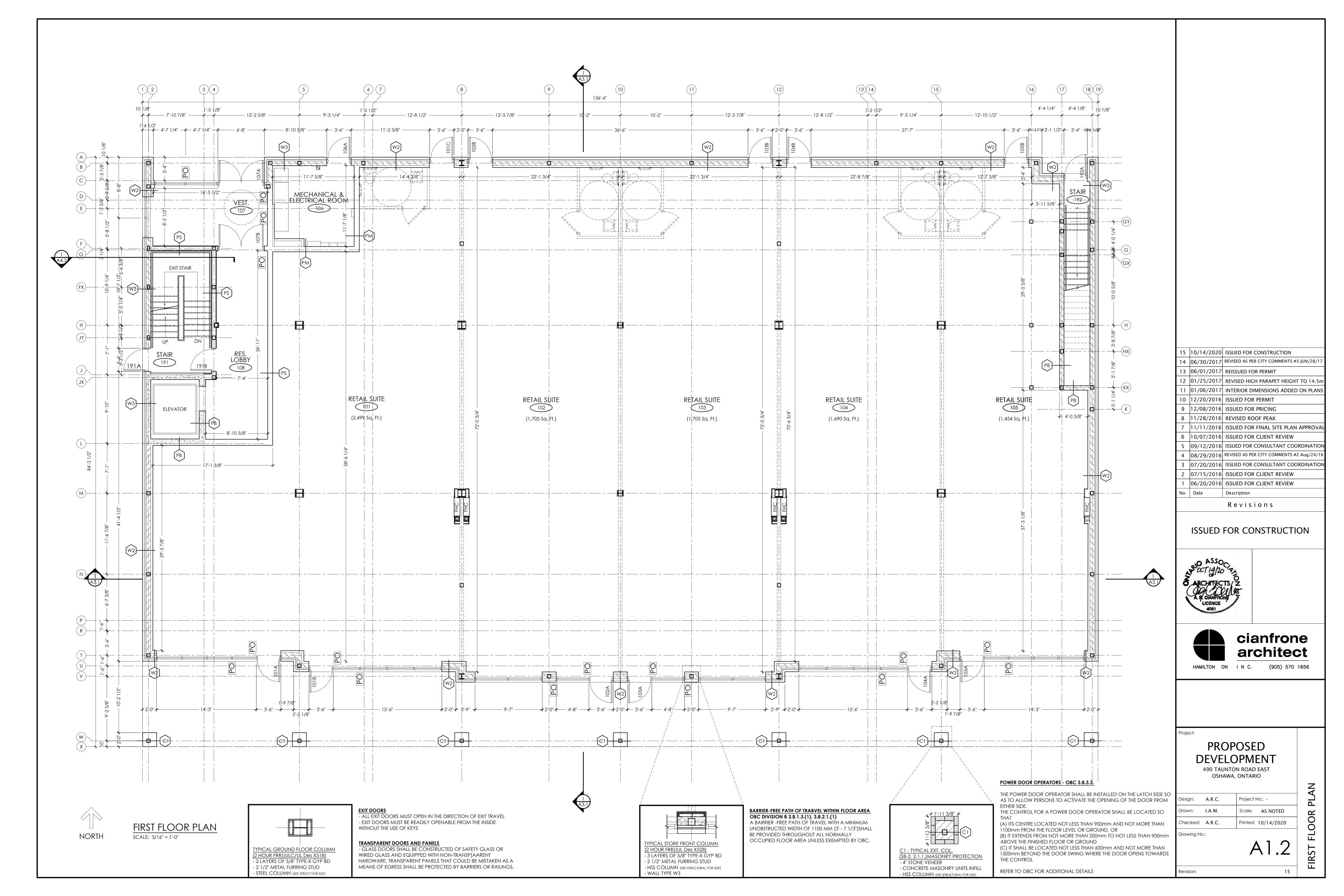
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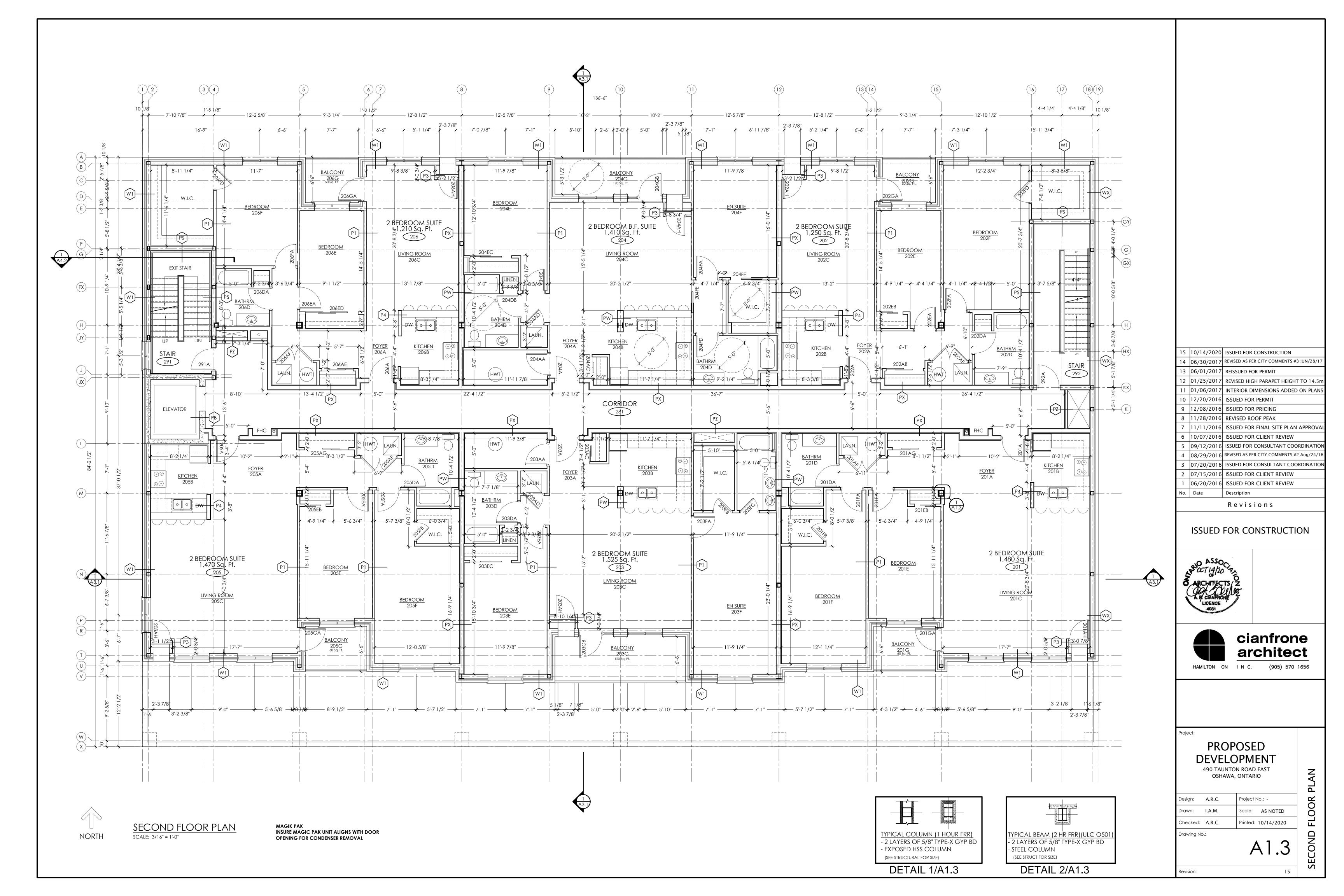
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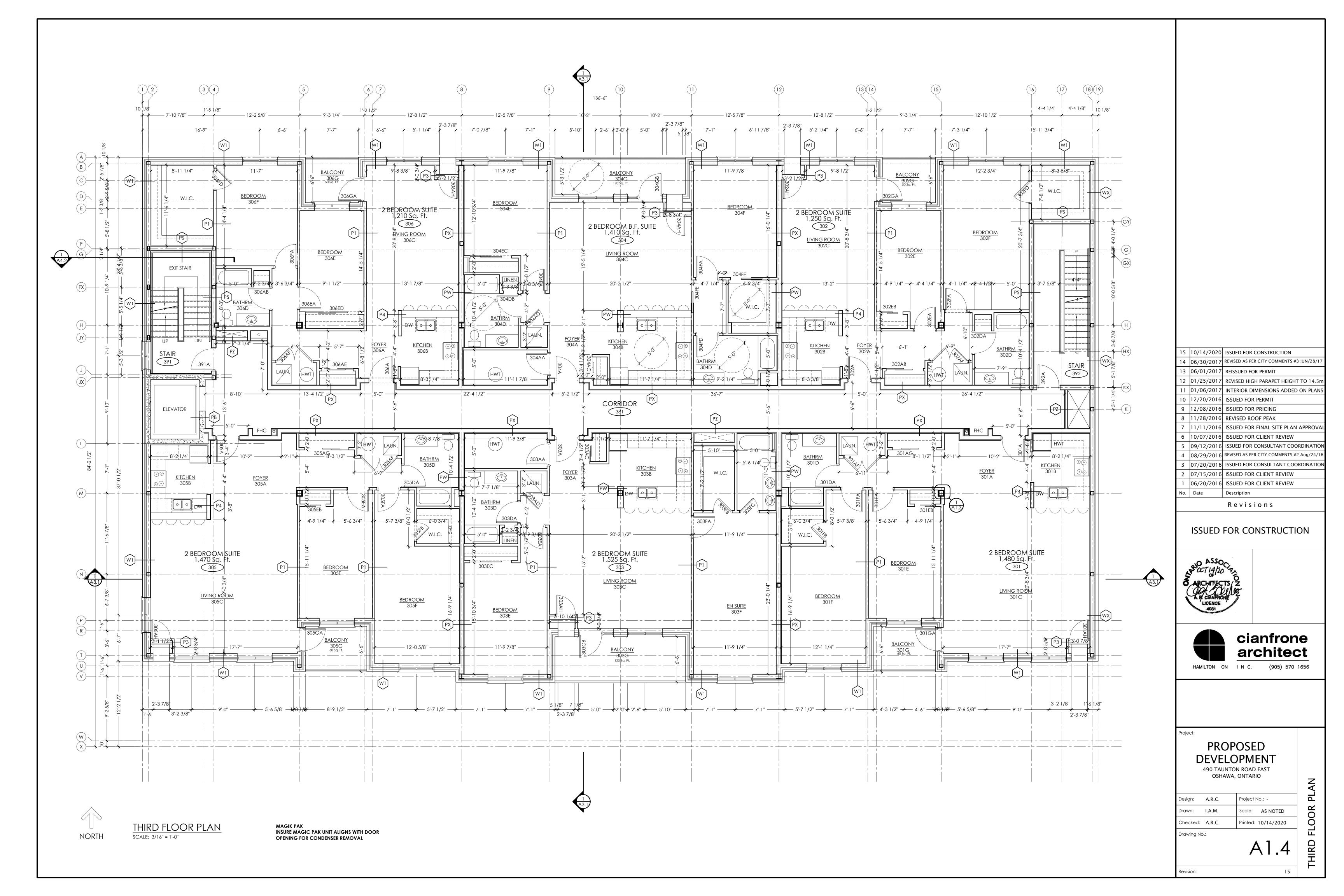
PLANS

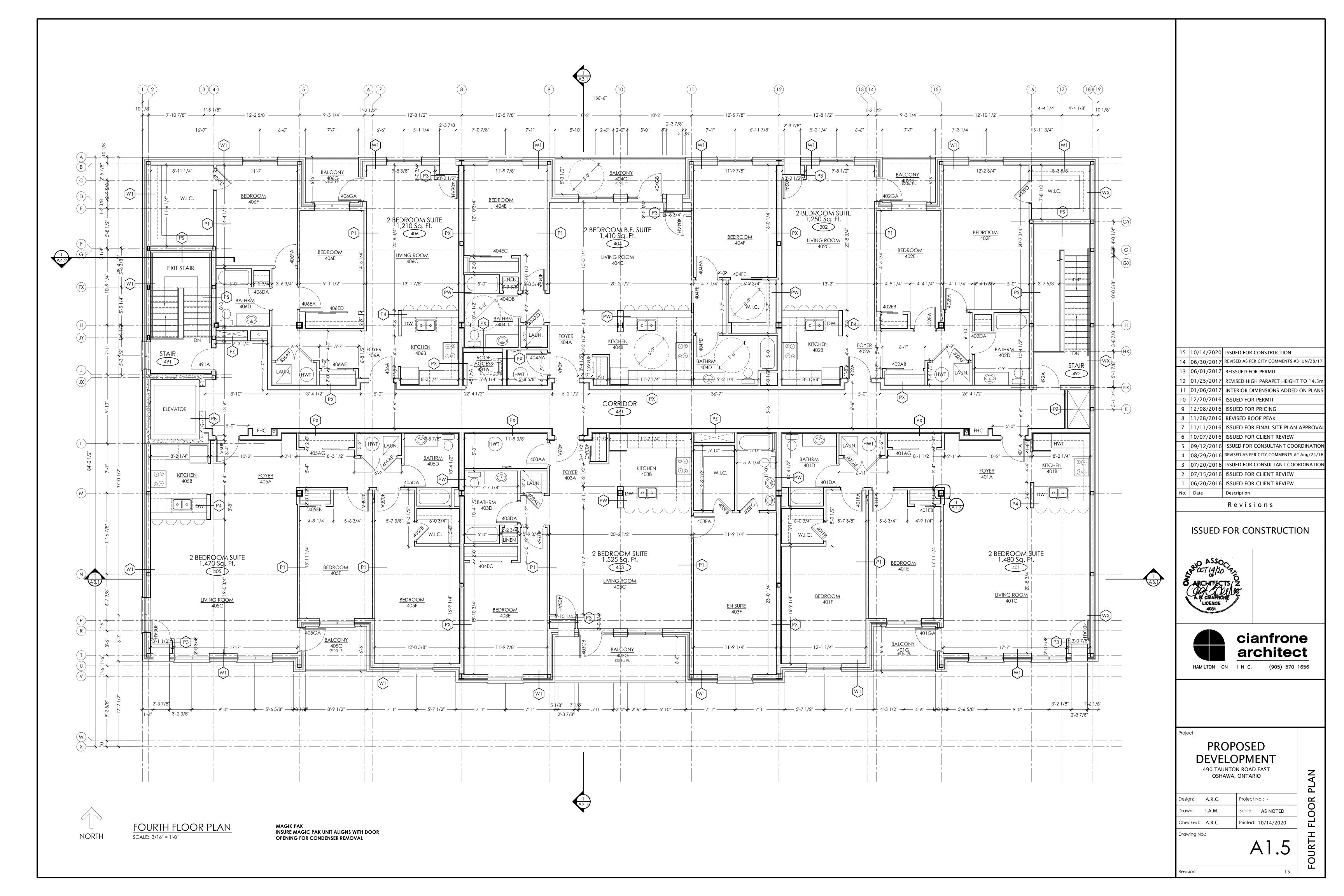


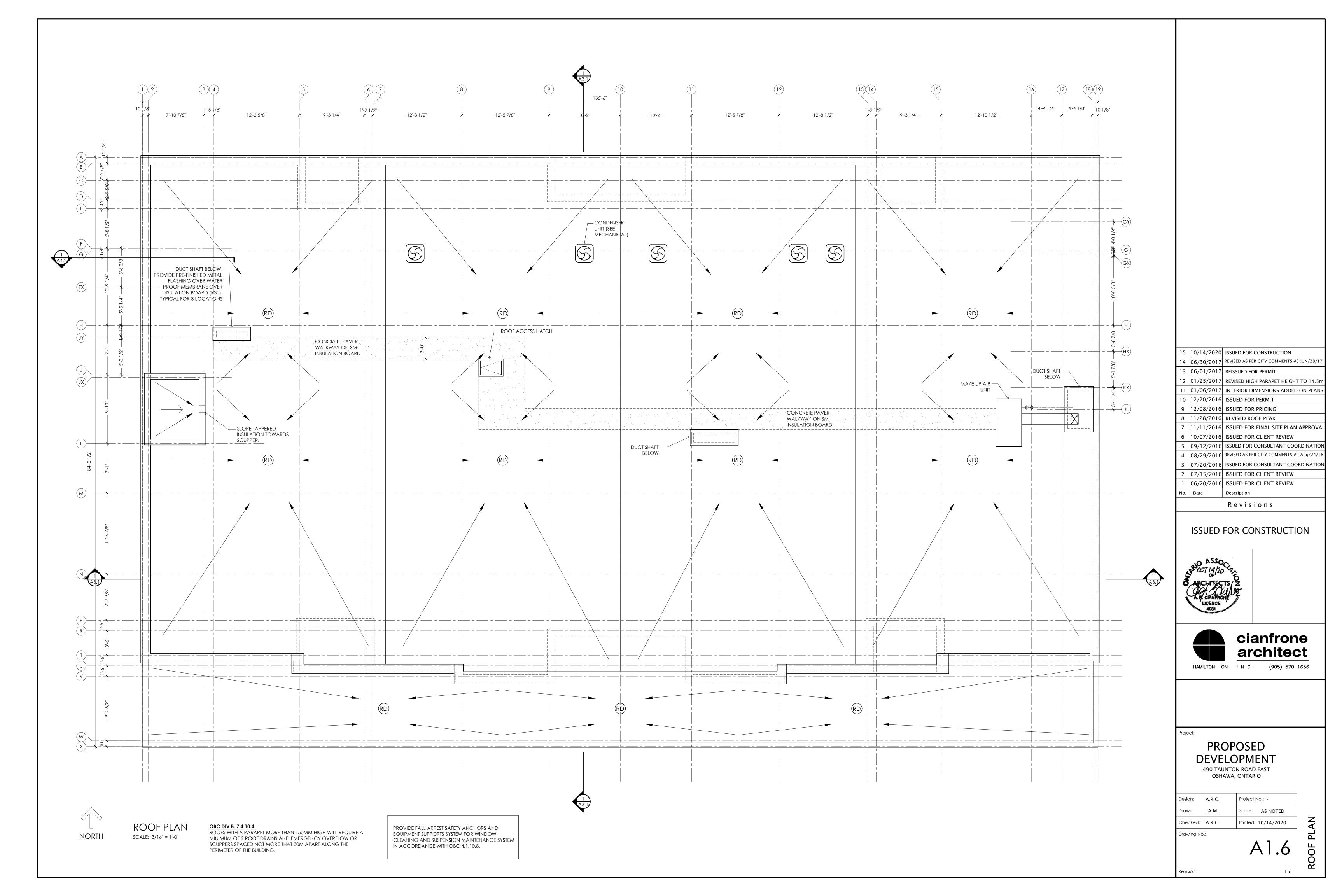




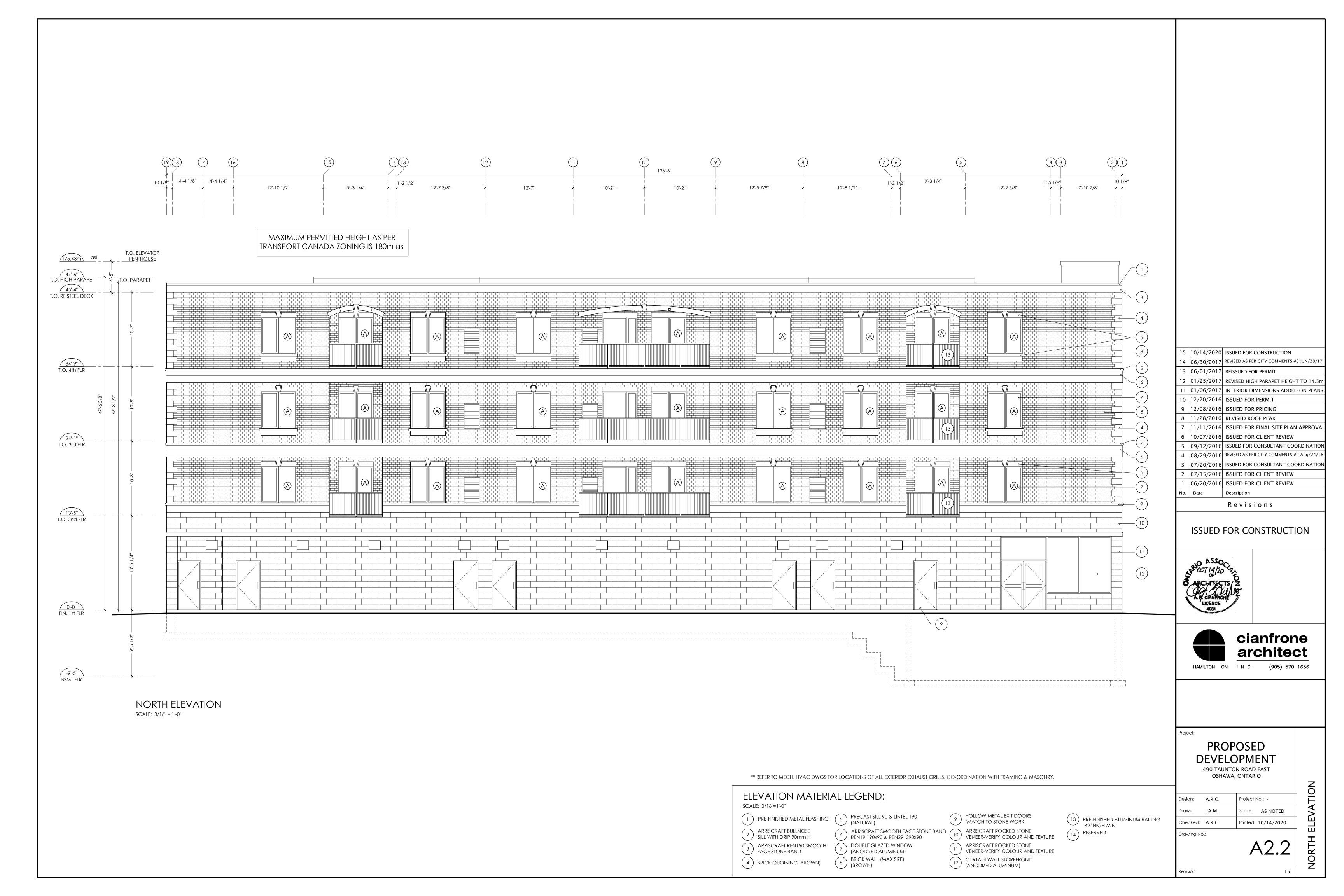


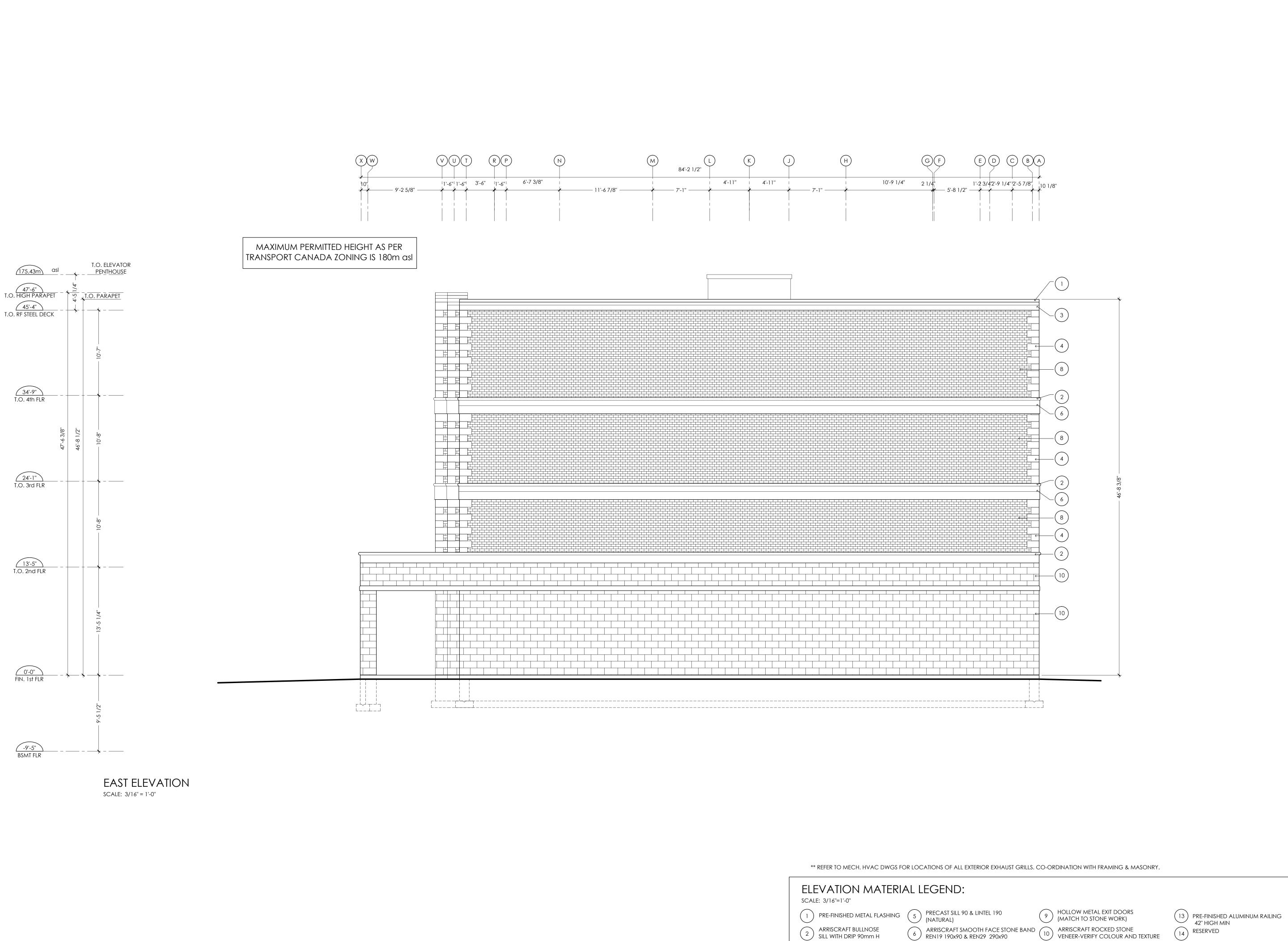












15 10/14/2020 ISSUED FOR CONSTRUCTION 14 | 06/30/2017 | REVISED AS PER CITY COMMENTS #3 JUN/28/13 13 |06/01/2017 | REISSUED FOR PERMIT 12 01/25/2017 REVISED HIGH PARAPET HEIGHT TO 14.5m 11 01/06/2017 INTERIOR DIMENSIONS ADDED ON PLANS 10 | 12/20/2016 | ISSUED FOR PERMIT 9 | 12/08/2016 | ISSUED FOR PRICING 8 |11/28/2016 | REVISED ROOF PEAK 7 | 11/11/2016 | ISSUED FOR FINAL SITE PLAN APPROVAL 6 |10/07/2016 | ISSUED FOR CLIENT REVIEW 5 |09/12/2016 ISSUED FOR CONSULTANT COORDINATION 4 08/29/2016 REVISED AS PER CITY COMMENTS #2 Aug/24/10 3 07/20/2016 ISSUED FOR CONSULTANT COORDINATION 2 07/15/2016 ISSUED FOR CLIENT REVIEW 06/20/2016 ISSUED FOR CLIENT REVIEW

Revisions

ISSUED FOR CONSTRUCTION





PROPOSED **DEVELOPMENT**

490 TAUNTON ROAD EAST OSHAWA, ONTARIO

Design: A.R.C. Project No.: -

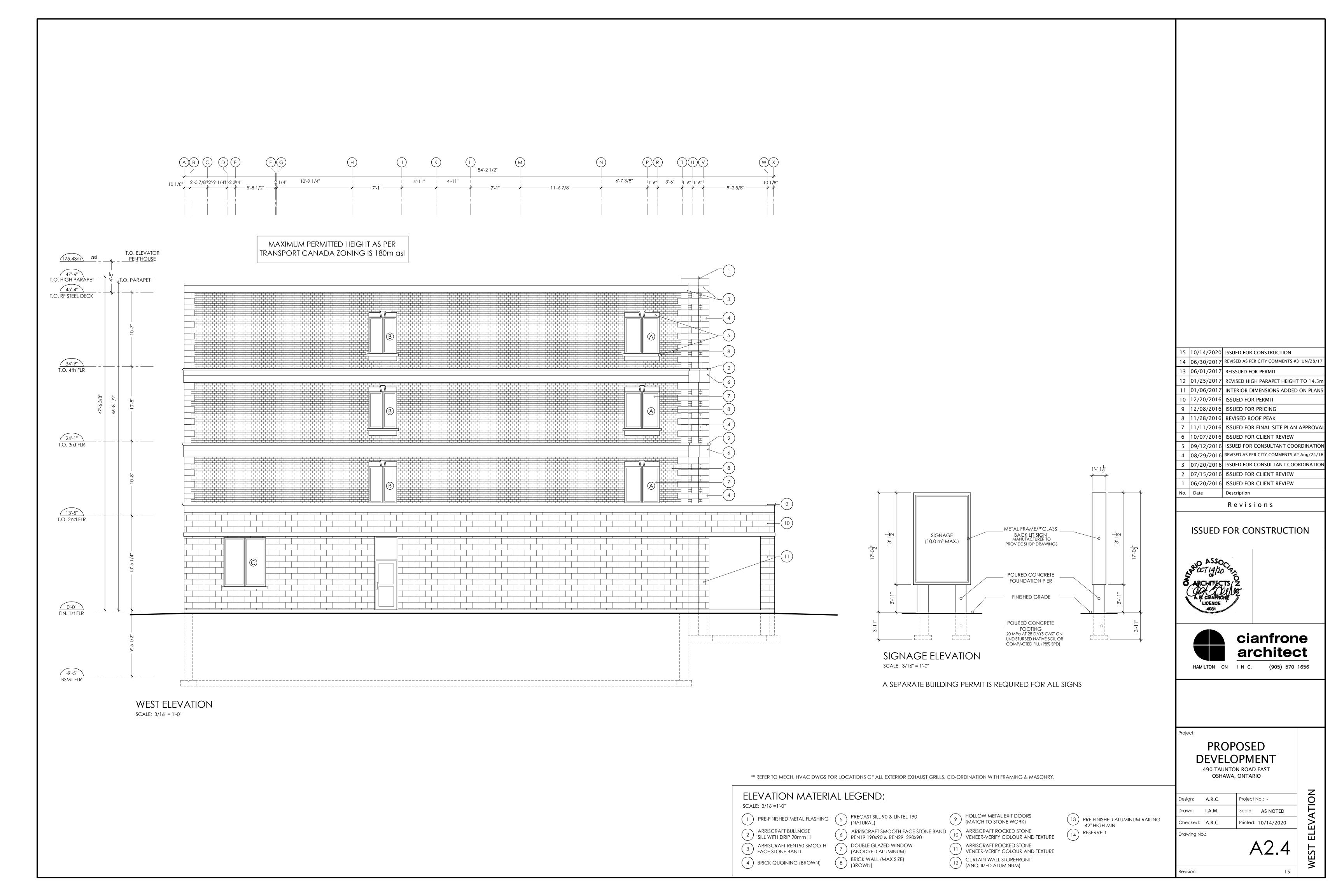
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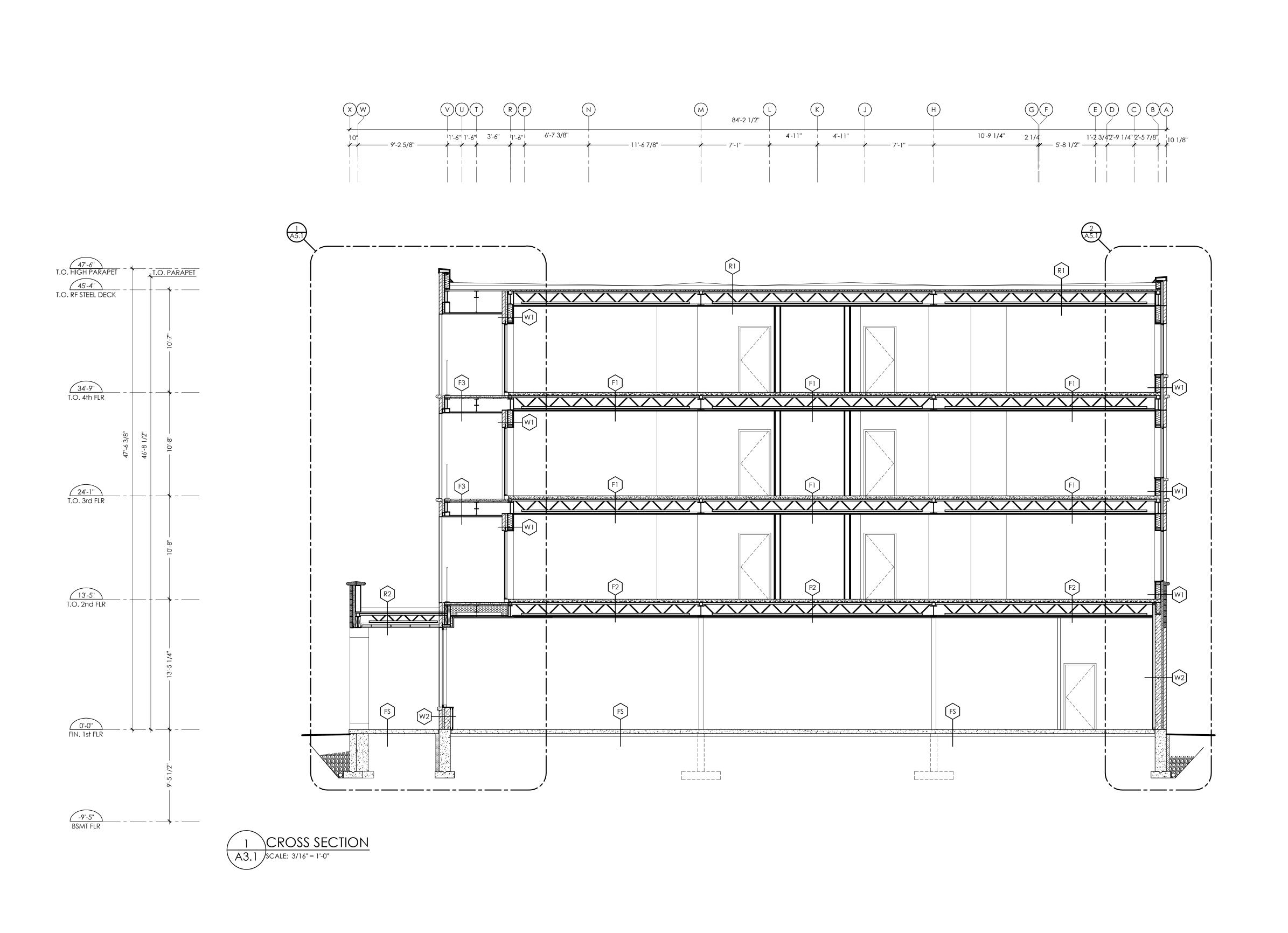
SCALE: 3/16"=1'-0"		
1 PRE-FINISHED METAL FLASHING	5 PRECAST SILL 90 & LINTEL 190 (NATURAL)	9 HOLLOW METAL EXIT DOORS (MATCH TO STONE WORK)
2 ARRISCRAFT BULLNOSE SILL WITH DRIP 90mm H	6 ARRISCRAFT SMOOTH FACE STONE BAND REN19 190x90 & REN29 290x90	ARRISCRAFT ROCKED STONE VENEER-VERIFY COLOUR AND TEXTURE
3 ARRISCRAFT REN 190 SMOOTH FACE STONE BAND	7 DOUBLE GLAZED WINDOW (ANODIZED ALUMINUM)	ARRISCRAFT ROCKED STONE VENEER-VERIFY COLOUR AND TEXTURE

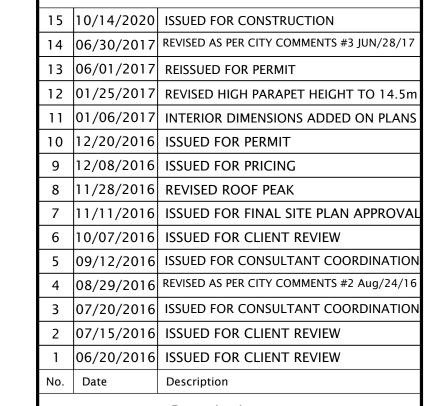
4 BRICK QUOINING (BROWN)

8 BRICK WALL (MAX SIZE) (BROWN)

CURTAIN WALL STOREFRONT (ANODIZED ALUMINUM)







Revisions

ISSUED FOR CONSTRUCTION





Project

Drawing No.:

PROPOSED DEVELOPMENT 490 TAUNTON ROAD EAST OSHAWA, ONTARIO

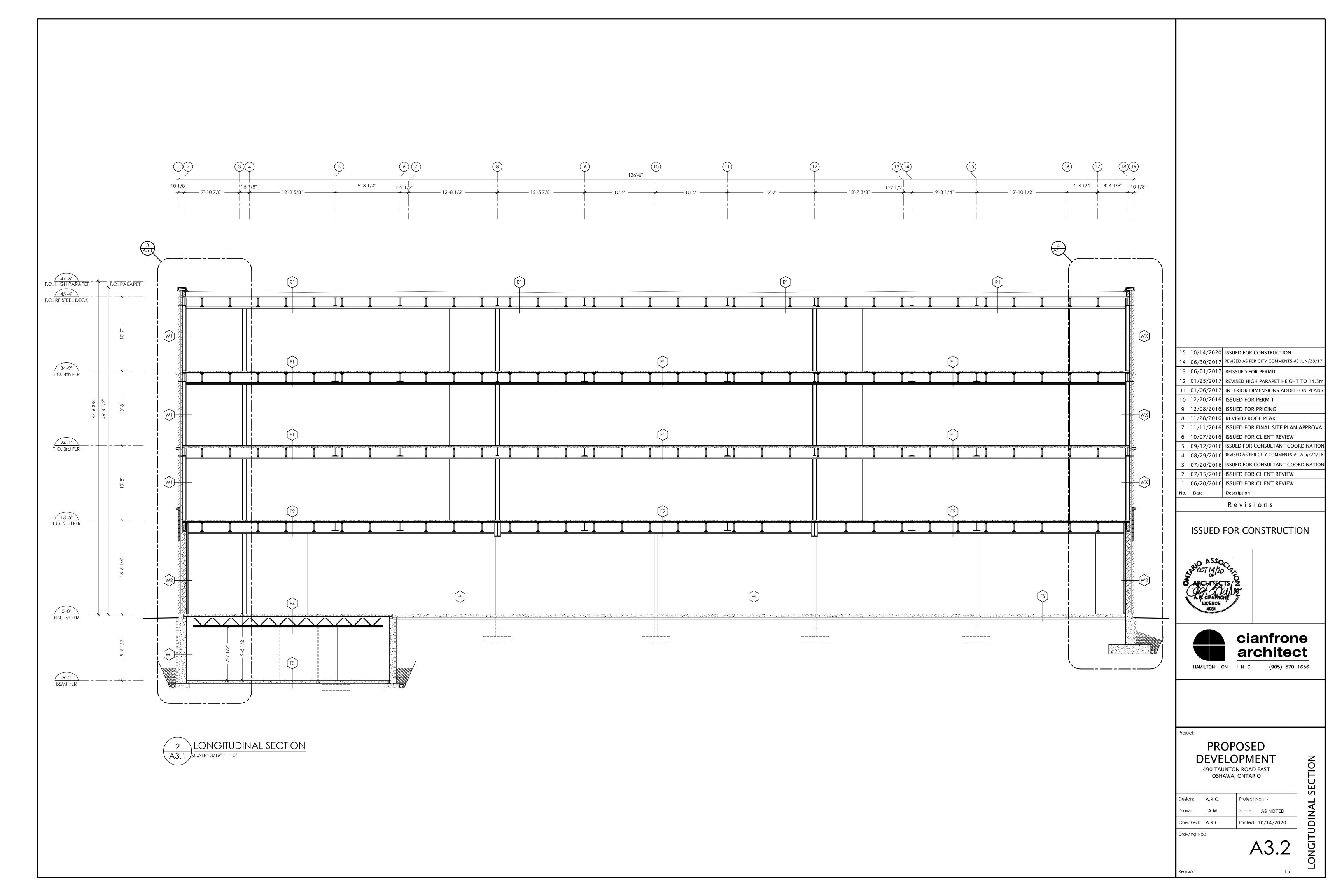
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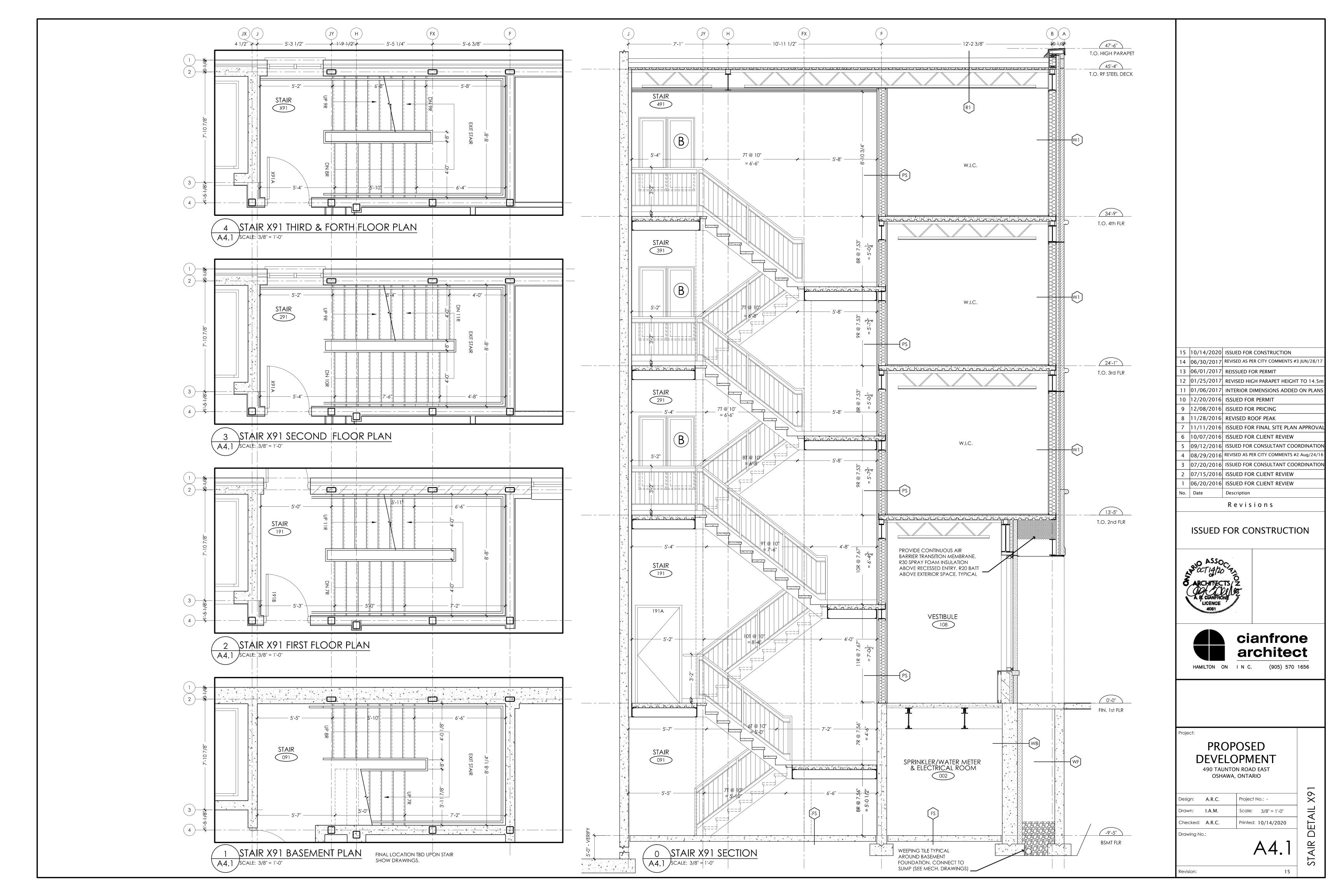
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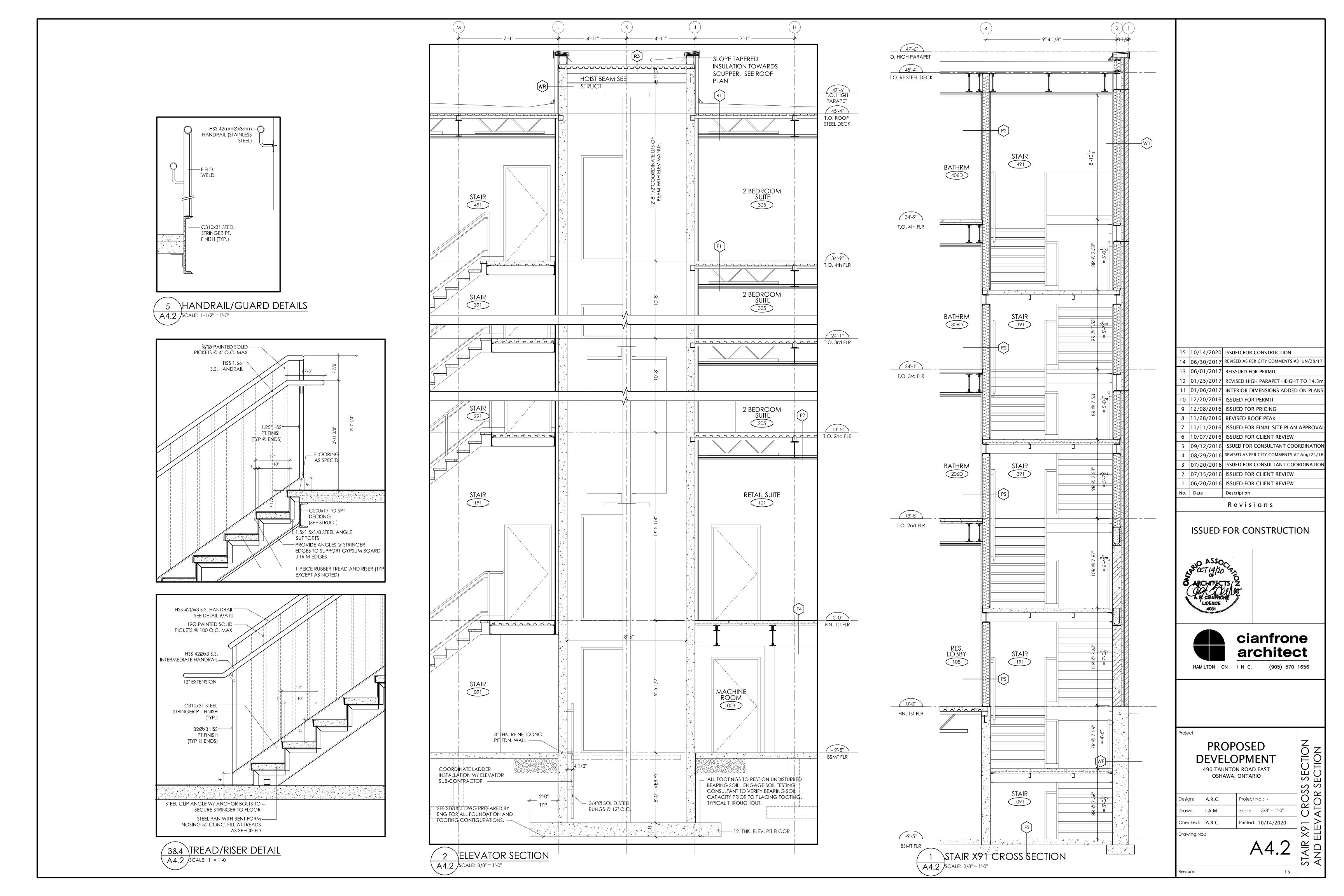
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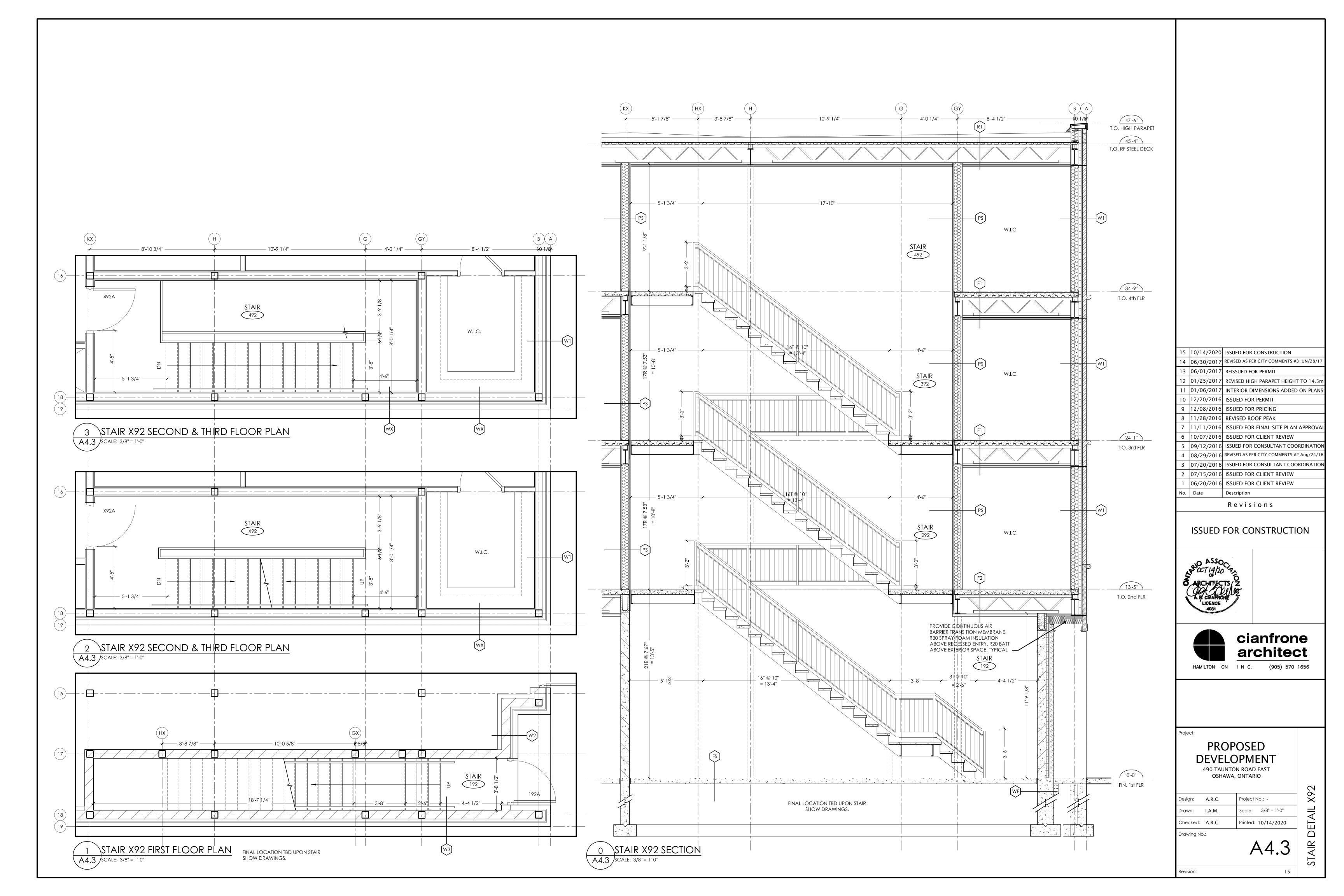
CROSS

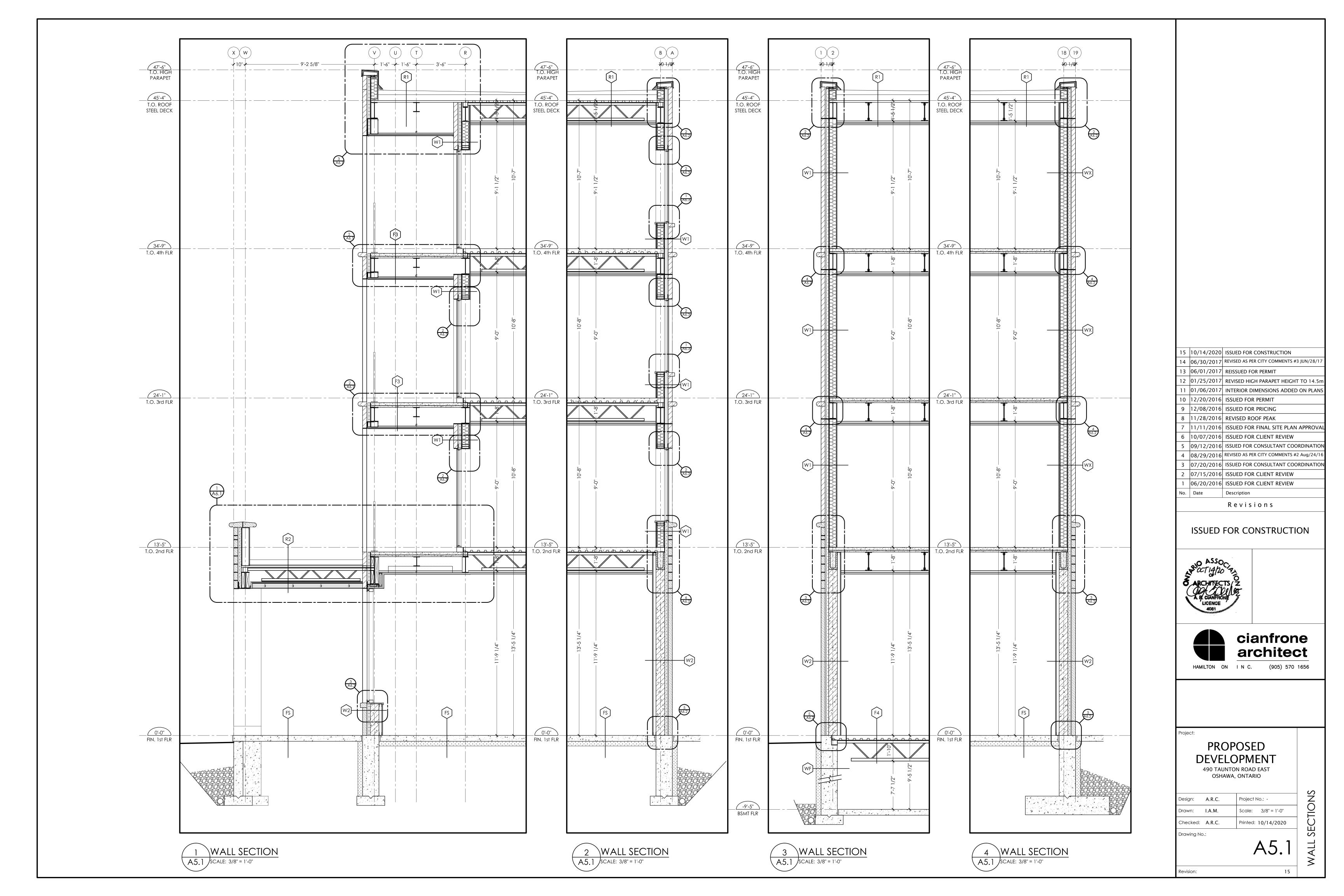
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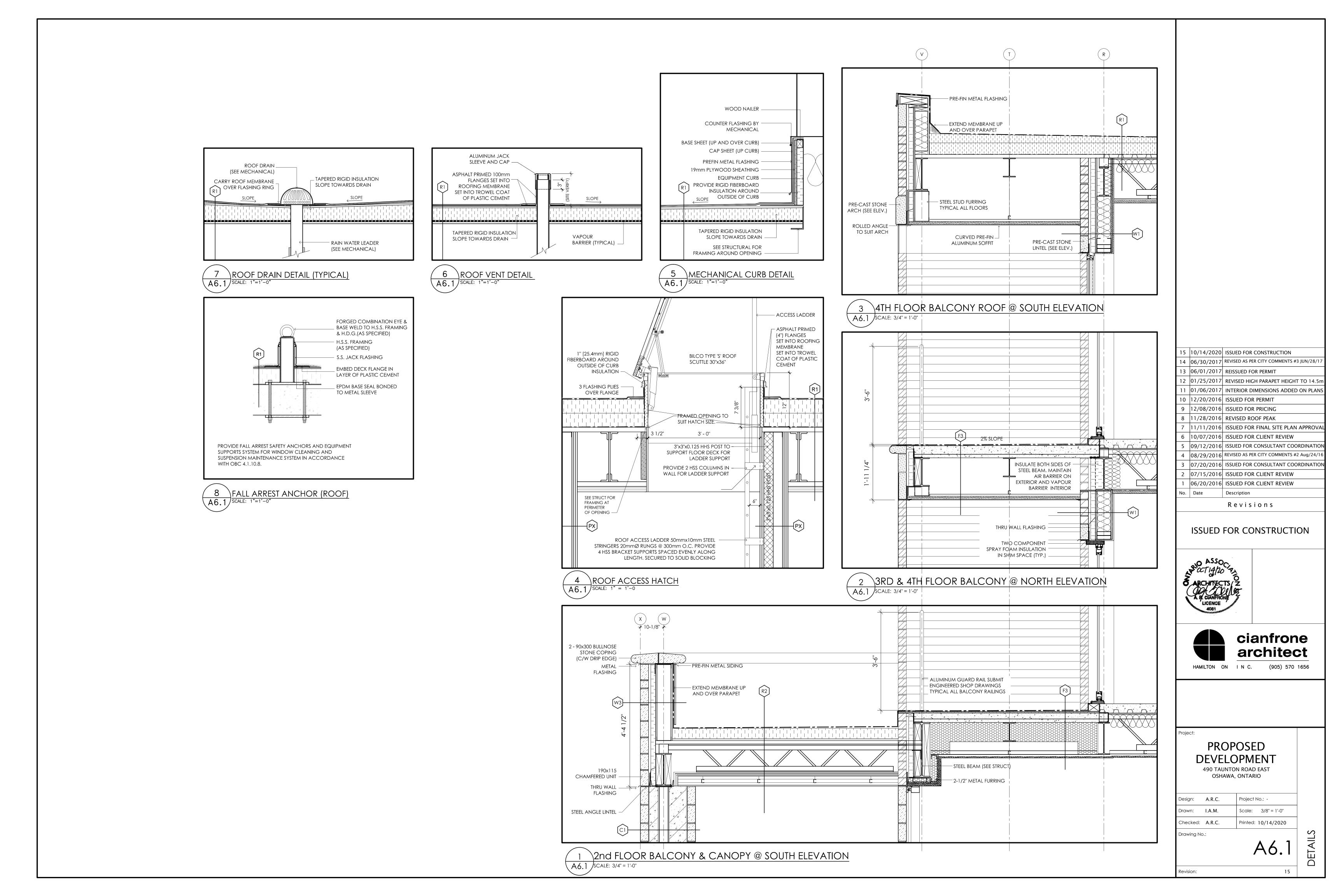


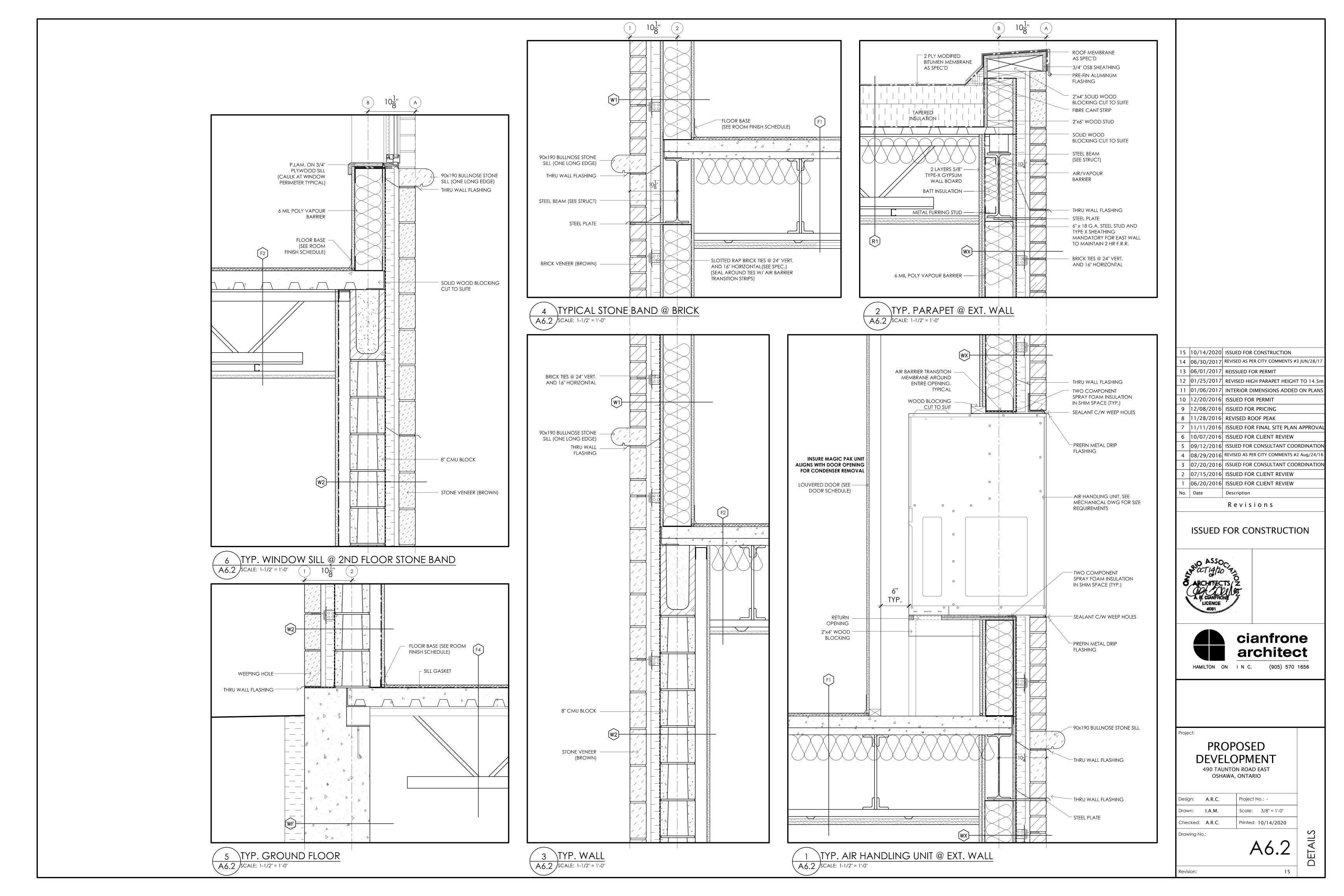


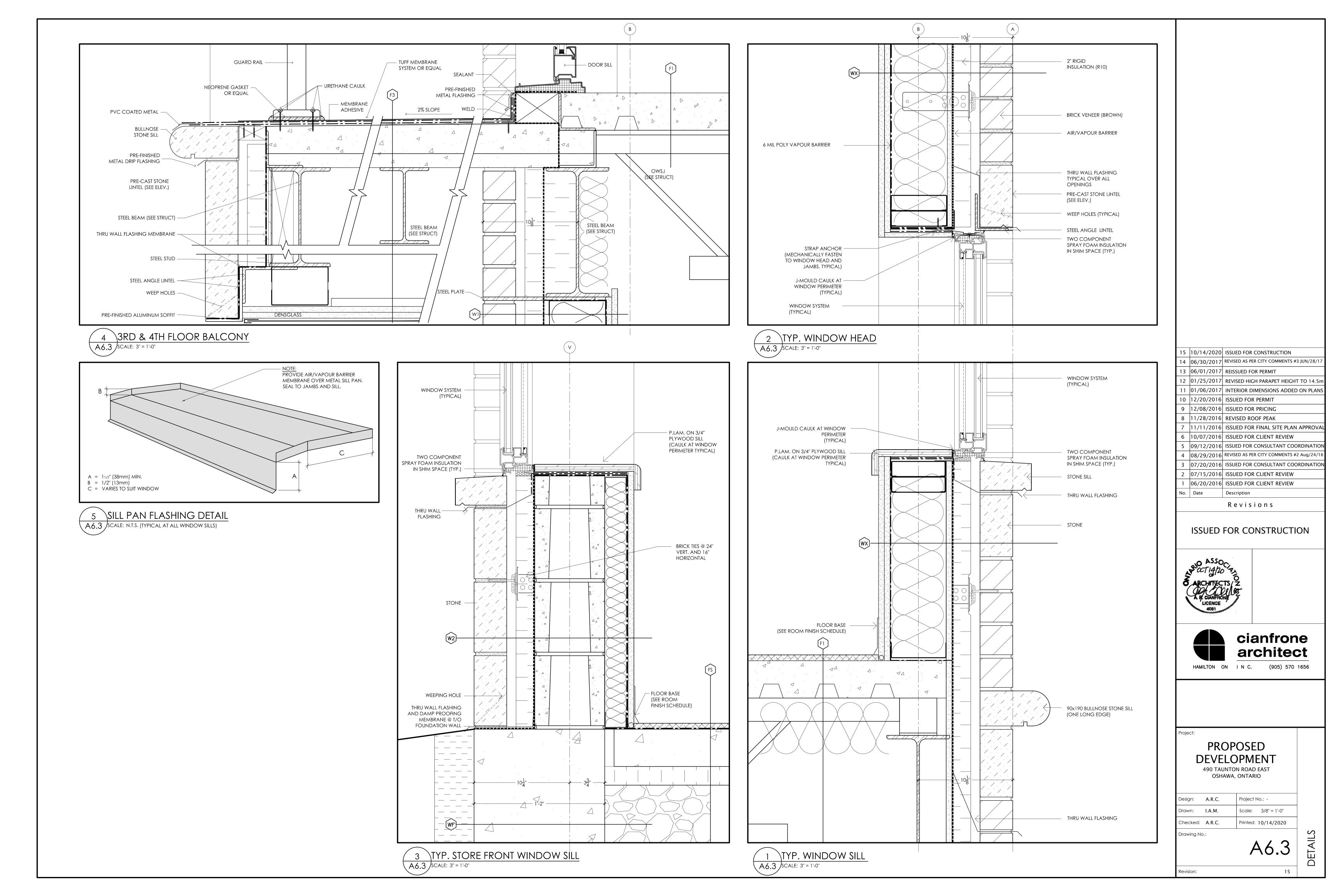


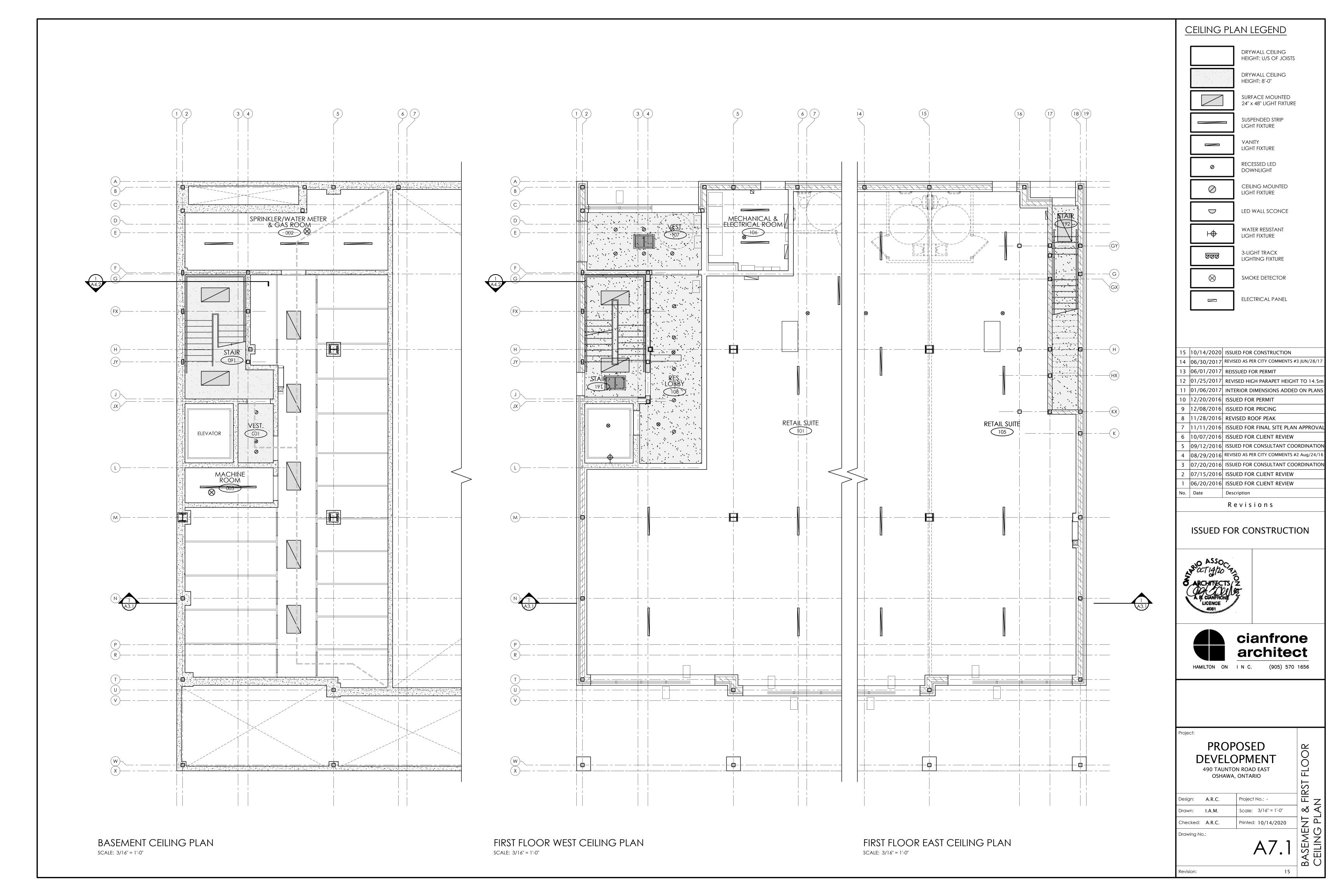


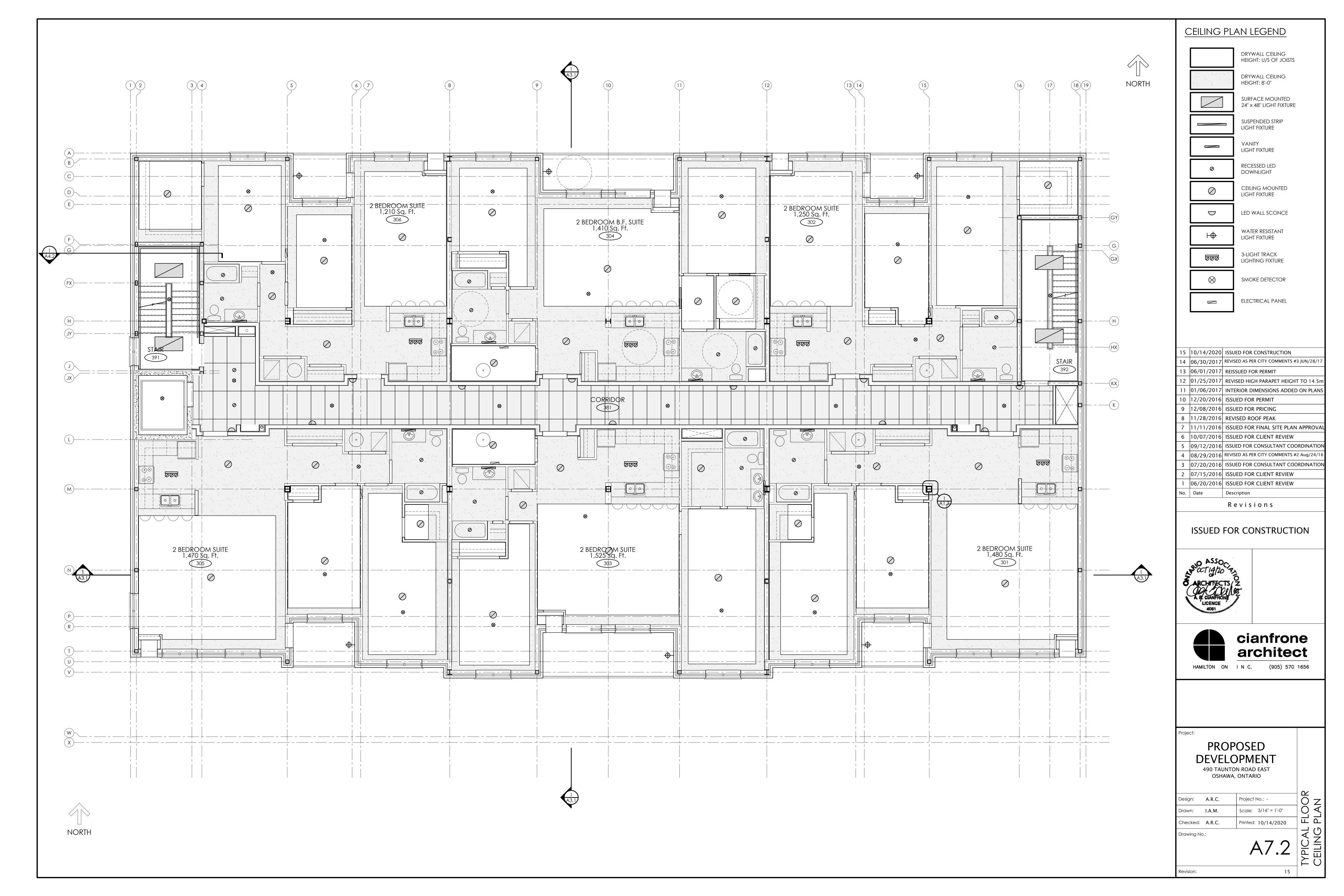


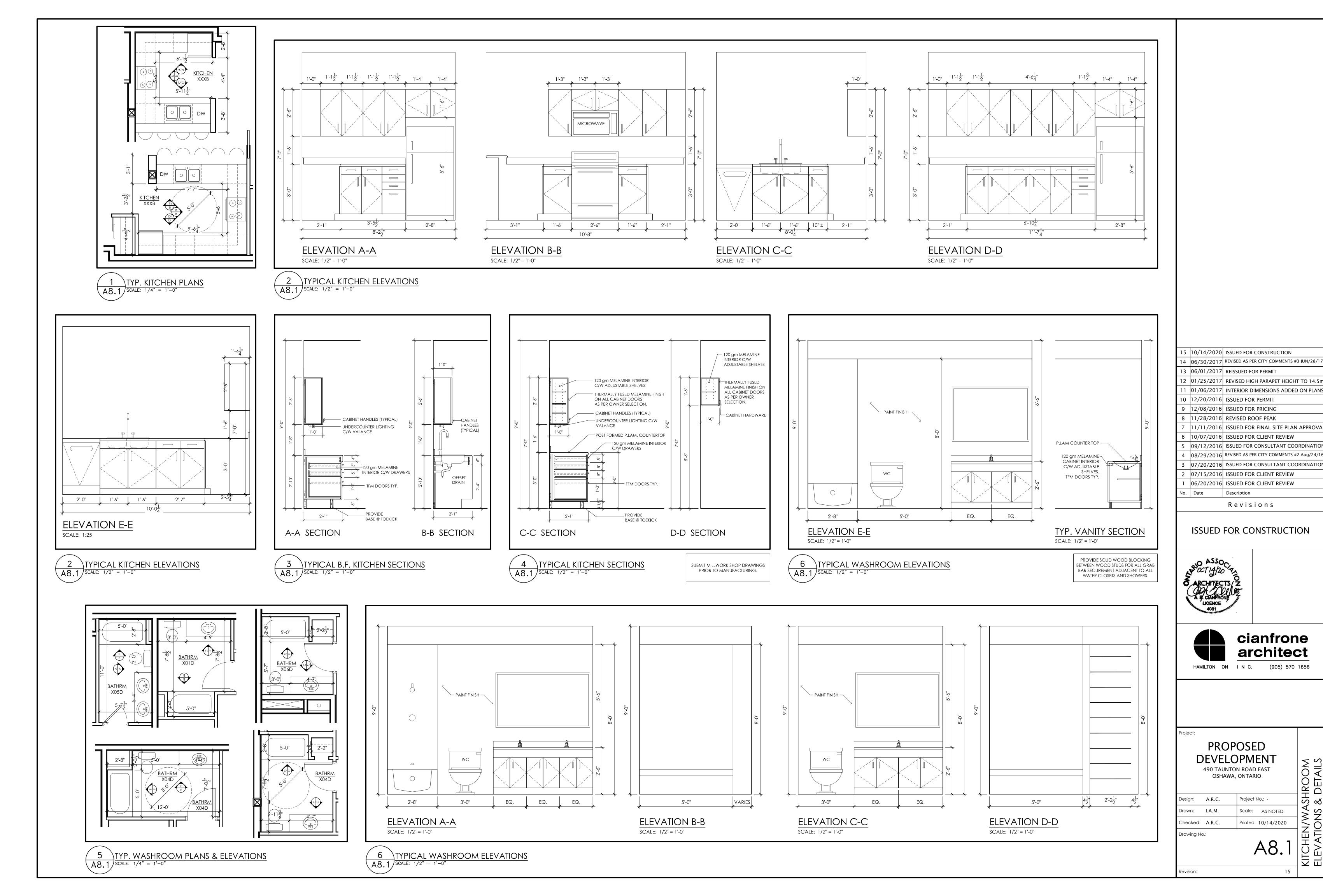












KITCHEN/WASHROOM ELEVATIONS & DETAILS