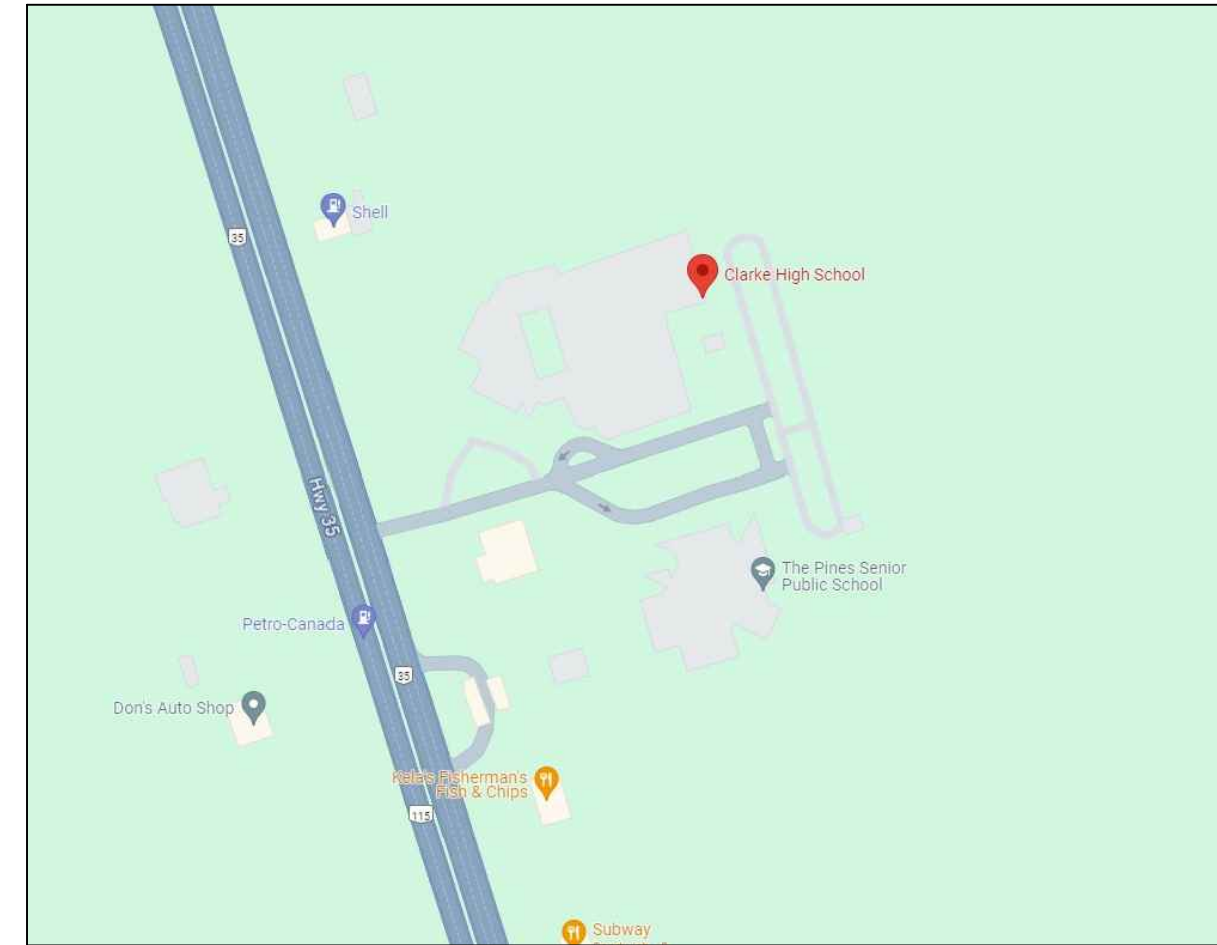


KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD RENOVATIONS TO CLARKE HIGHSCHOOL

3425 ON-35
Newcastle, ON



1
A000 LOCATION MAP
N.T.S.

LIST OF DRAWINGS

A000 LIST OF DRAWINGS, LOCATION MAP & OBC MATRIX

ARCHITECTURAL

- A201 OVERALL FIRST FLOOR PLAN
- A202 OVERALL SECOND FLOOR PLAN
- A203 PART FIRST FLOOR DEMOLITION PLAN
- A204 PART SECOND FLOOR DEMOLITION PLAN
- A205 PART SECOND FLOOR DEMOLITION PLAN
- A206 PART SECOND FLOOR DEMOLITION PLAN
- A207 PART FIRST FLOOR PLAN
- A208 PART SECOND FLOOR PLAN
- A209 PART SECOND FLOOR PLAN
- A210 PART SECOND FLOOR PLAN
- A211 PART FIRST FLOOR REFLECTED CEILING PLAN
- A212 PART SECOND FLOOR REFLECTED CEILING PLAN
- A213 PART SECOND FLOOR REFLECTED CEILING PLAN
- A214 PART SECOND FLOOR REFLECTED CEILING PLAN
- A701 INTERIOR ELEVATIONS AND SCHEDULES
- A702 INTERIOR ELEVATIONS
- A801 MILLWORK DETAILS
- A802 MILLWORK DETAILS

MECHANICAL

- M101 KEY PLAN, LEGEND & SCHEDULES
- M201 GROUND FLOOR PART PLANS-DEMOLITION
- M202 SECOND FLOOR PART PLANS-DEMOLITION
- M301 GROUND FLOOR PART PLANS-RENOVATION
- M302 SECOND FLOOR PART PLANS-RENOVATION
- M401 MECHANICAL SPECIFICATION

ELECTRICAL

- E101 COVER
- E201 DEMOLITION PLANS PART A & B
- E202 DEMOLITION PLANS PART C
- E301 RENOVATION PLANS PART A & B
- E302 RENOVATION PLANS PART C

Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building				OBC Reference																
NAME OF PROJECT: BARRY BRYAN ASSOCIATES CERTIFICATE OF PRACTICE NUMBER: 6192 250 WATER STREET, SUITE 201 WHITBY, ONTARIO, CANADA L1N 0G5 TEL: (905) 666-5252 (Toronto) (905) 427-4495 FAX: (905) 666-5256																				
NAME OF PROJECT: Renovations at Clarke Highschool																				
LOCATION OF PROJECT: 3425 ON-35 Newcastle, ON																				
DATE: MARCH 2024																				
11.00 Building Code Version:	Last Amendment:																			
11.01 Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Change of use <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation			[A] 1.1.2.																
11.02 Major Occupancy Classification:	Description: _____ Occupancy Group A, Div. 2: _____ Use: School			3.1.2.1.(1)																
11.03 Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.2.7																
11.04 Building Area (m ²)	<table border="1"> <thead> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>GROUND FLOOR</td> <td>5373m²</td> <td>N/A</td> <td>5373m²</td> </tr> <tr> <td>SECOND FLOOR</td> <td>3223m²</td> <td>N/A</td> <td>3223m²</td> </tr> <tr> <td>Total=</td> <td></td> <td></td> <td>8596m²</td> </tr> </tbody> </table>			Description	Existing	New	Total	GROUND FLOOR	5373m ²	N/A	5373m ²	SECOND FLOOR	3223m ²	N/A	3223m ²	Total=			8596m²	[A] 1.4.1.2.
Description	Existing	New	Total																	
GROUND FLOOR	5373m ²	N/A	5373m ²																	
SECOND FLOOR	3223m ²	N/A	3223m ²																	
Total=			8596m²																	
11.05 Building Height	EXISTING NO CHANGE 2 Storeys above grade 0 (zero) Storeys below grade			[A] 1.4.1.2 & 3.2.1.1																
11.06 Number of streets/ fire fighter access:	1 street(s)			3.2.2.10 & 3.2.5																
11.07 Building Size:	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large			T.11.2.1.1.B.-N.																
11.08 Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: - Hazard Index: - Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster			T11.2.1.1A T11.2.1.1B to N. 4.2.1(3) & 5.2.2.1.(2)																
11.09 Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation			11.3.3.1 & 11.3.3.2																
11.10 Occupant Load:	<table border="1"> <thead> <tr> <th>Floor Level/ Area</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occup. Load</th> </tr> </thead> <tbody> <tr> <td>EXISTING NO CHANGE</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>			Floor Level/ Area	Occupancy Type	Based On	Occup. Load	EXISTING NO CHANGE				3.1.17								
Floor Level/ Area	Occupancy Type	Based On	Occup. Load																	
EXISTING NO CHANGE																				
11.11 Plumbing Fixture Requirements:	Ratio: Male/Female = 50:50 Except as noted otherwise <table border="1"> <thead> <tr> <th>Floor Level/ Area</th> <th>Occupant Load</th> <th>OBC Reference Required</th> <th>Fixtures Provided</th> </tr> </thead> <tbody> <tr> <td>EXISTING NO CHANGE</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>			Floor Level/ Area	Occupant Load	OBC Reference Required	Fixtures Provided	EXISTING NO CHANGE				3.7.4								
Floor Level/ Area	Occupant Load	OBC Reference Required	Fixtures Provided																	
EXISTING NO CHANGE																				
11.12 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: _____			11.3.3.2.(2)																
11.13 Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5																
11.14 Compensating Construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7																
11.15 Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			11.5.1.																
11.16 Notes:	Project Description: Interior renovations to Classrooms on first and second floors <div style="border: 1px solid black; padding: 2px; display: inline-block;"> AREA OF WORK/RENOVATION: 1049m² </div> EXISTING OCCUPANT LOAD + FIXTURES DOES NOT CHANGE.			11.5.1																

CONSULTANTS

ARCHITECTURAL/STRUCTURAL:



MECHANICAL & ELECTRICAL:



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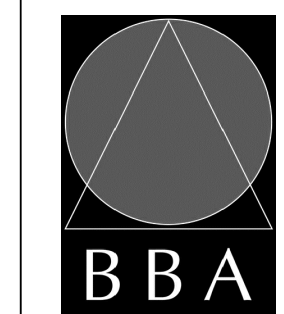
NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	MAR 22 2024	BBA
2	ISSUED FOR TENDER	APRIL 18 2024	BBA

NO.	REVISIONS	DATE	BY
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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
**LIST OF DRAWINGS,
LOCATION MAP &
OBC MATRIX**



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Project Managers
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Fax: (905) 666-5256
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DESIGN BY: BBA	DOC CONTROL DATE:
DRAWN BY: LO	% COMPLETE:
CHECKED BY: CG	INITIAL:
DATE: MARCH 2024	
SCALE: AS NOTED	
FILE:	

PROJECT NO:
24035

DRAWING NO:
A000

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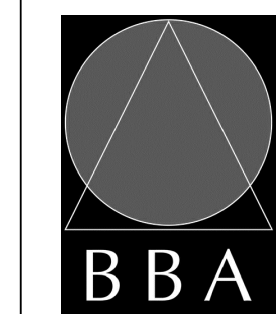


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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

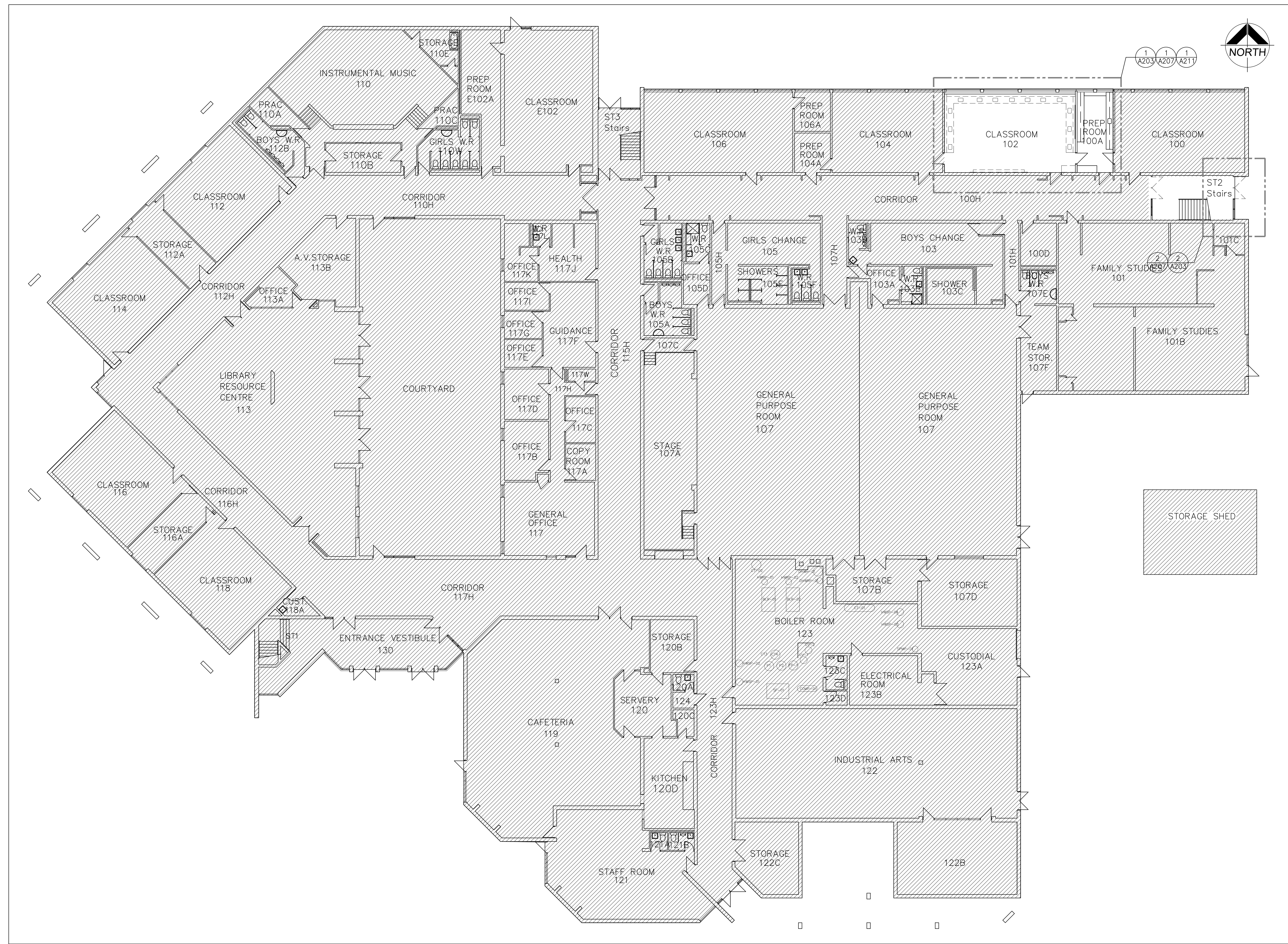
DRAWING:
OVERALL FIRST FLOOR PLAN



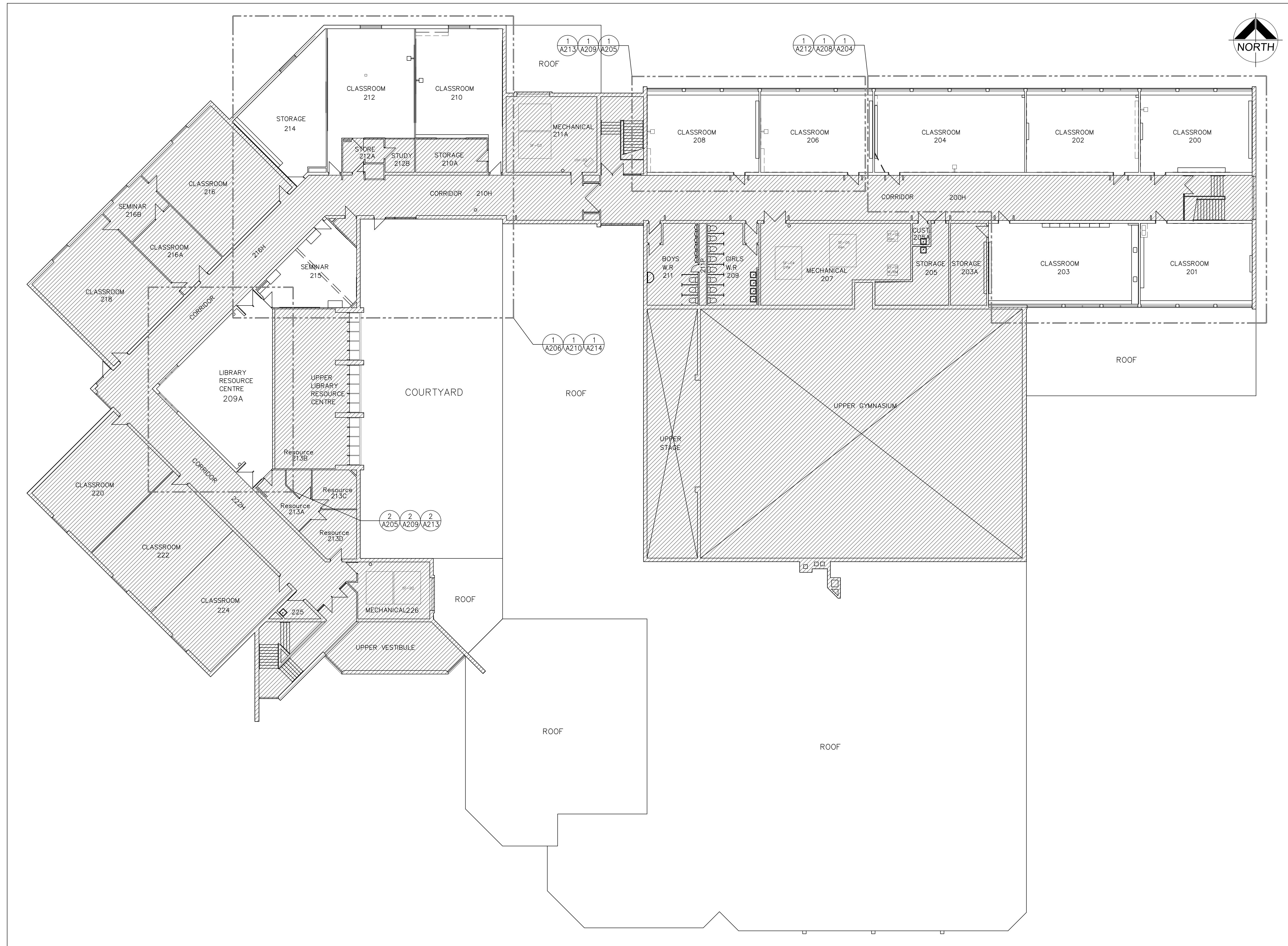
BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers
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Fax: (905) 666-5256
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CHECKED BY: CG	INITIAL:
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SCALE: AS NOTED	
FILE:	

PROJECT NO: **24035** DRAWING NO: **A201**



1 OVERALL FIRST FLOOR PLAN
A201 1:150



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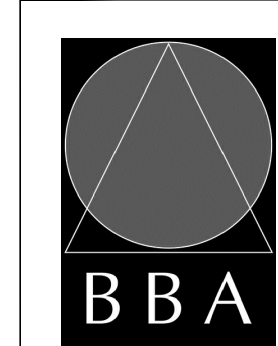


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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
OVERALL SECOND FLOOR PLAN



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FILE:	

1
A202 OVERALL SECOND FLOOR PLAN
1:150

PROJECT NO: **24035** DRAWING NO: **A202**

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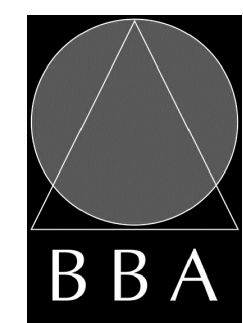
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NO.	REVISIONS	DATE	BY

NO.	REVISIONS	DATE	BY

PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

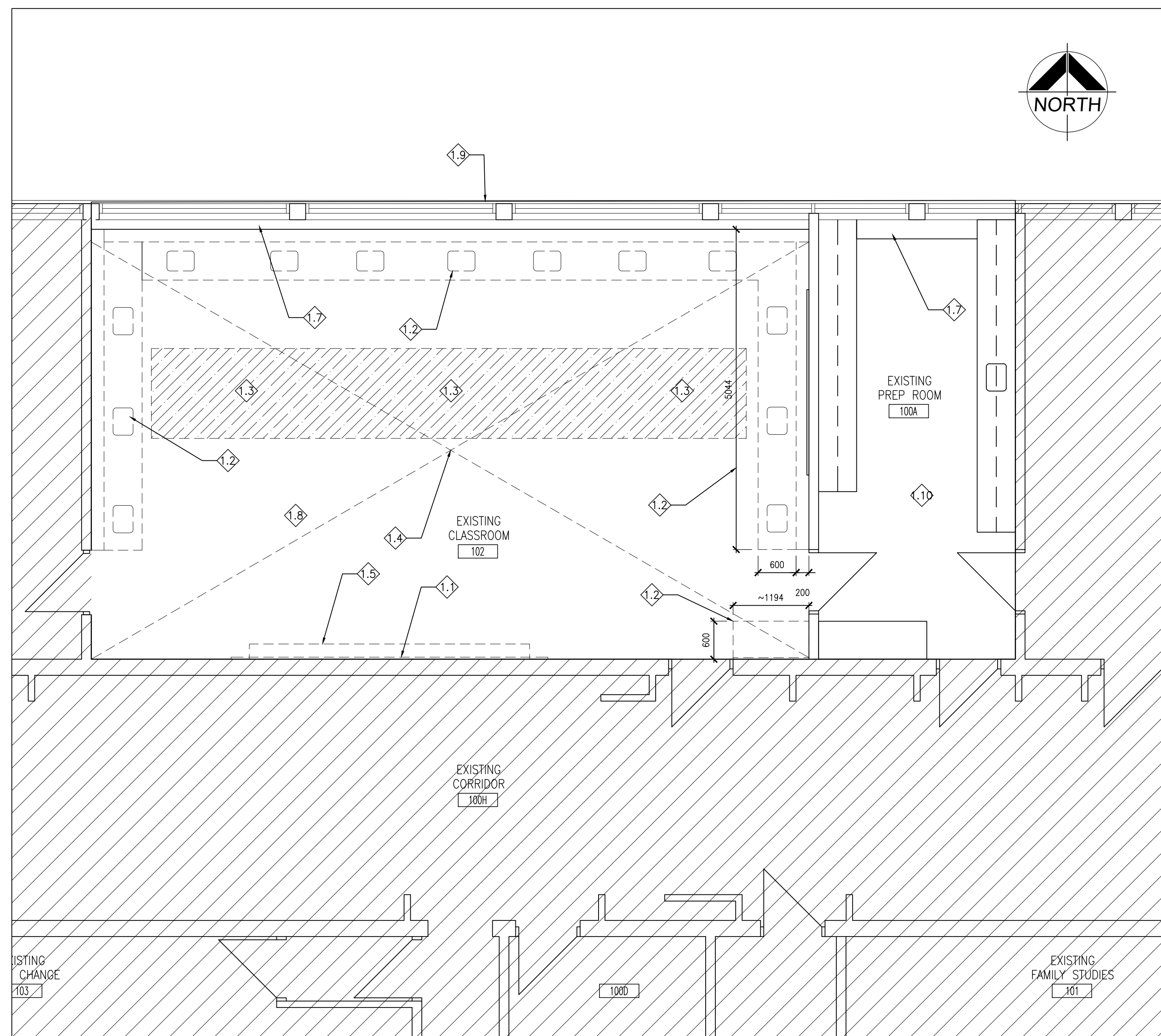
DRAWING:
**PART FIRST FLOOR
DEMOLITION PLAN**



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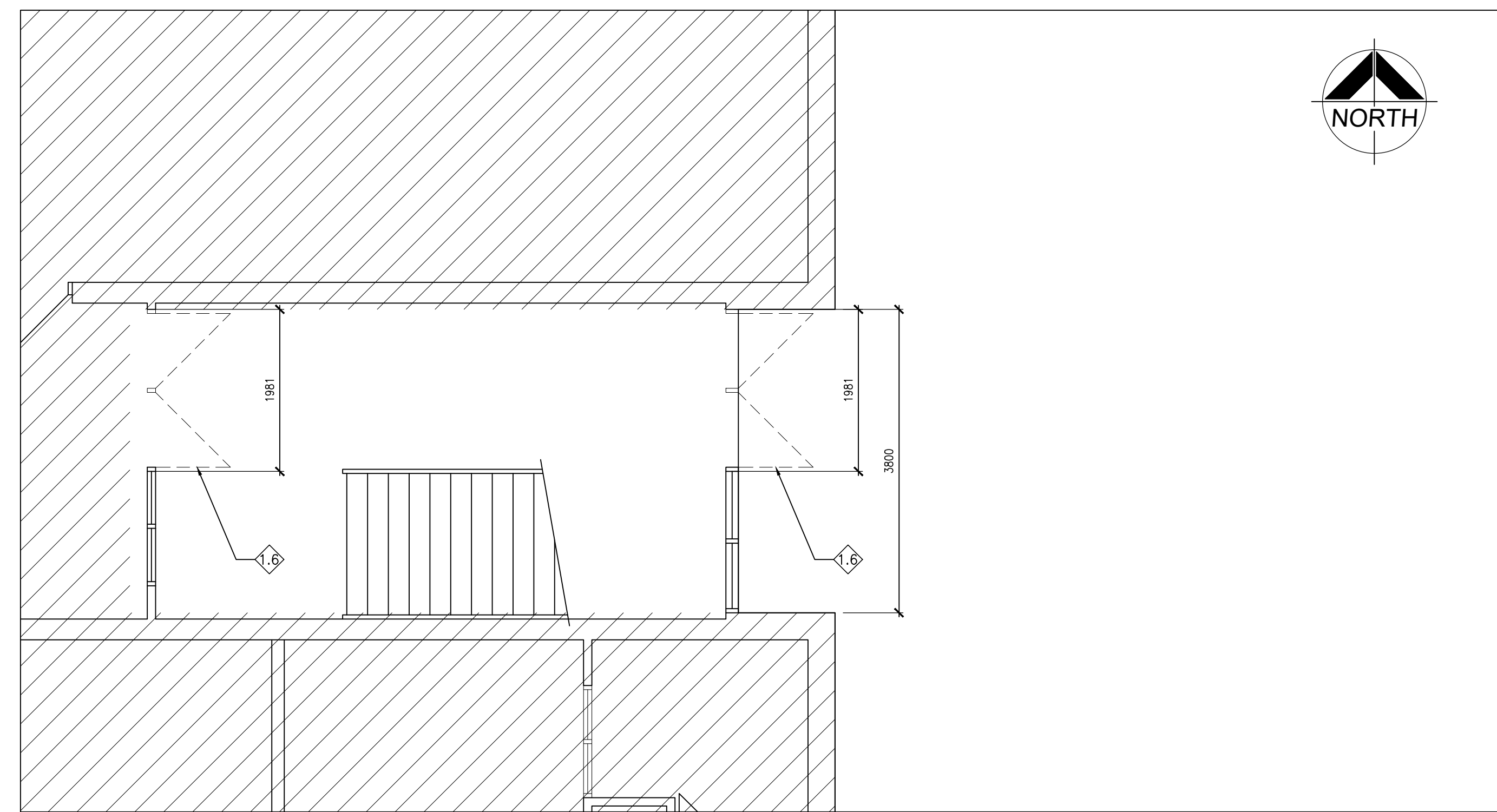
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CHECKED BY: CG	INITIAL:
DATE: MARCH 2024	
SCALE: AS NOTED	FILE:

PROJECT NO: **24035** DRAWING NO: **A203**



1 PART FIRST FLOOR DEMOLITION PLAN
1:50

GENERAL DEMOLITION NOTES		DEMOLITION NOTES
1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.	17. BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.	<p>DEMOLITION LEGEND</p> <ul style="list-style-type: none"> EXISTING WALL, PARTITION OR COLUMN DENOTES DEMOLITION OF BUILDING ELEMENT EXISTING DOOR, FRAME AND TRIM TO REMAIN EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF. DENOTES NOT IN CONTRACT
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.	18. COVER AND PROTECT EXISTING FLOORS PRIOR TO AND FOR THE ENTIRE DURATION OF CONSTRUCTION.	
3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.		
4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.		
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.		
6. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.		
7. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.		
8. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL, OR CAUSE OTHERS TO FALL.		
9. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.		
10. MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.		
11. CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCARIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.		
12. COVER AND PROTECT EXISTING FLOORS PRIOR TO AND FOR THE ENTIRE DURATION OF CONSTRUCTION.		
13. REFER TO PRE-RENOVATION HAZARDOUS BUILDING MATERIALS SURVEY REPORT PREPARED BY PINCHIN. ALL HAZARDOUS MATERIAL/SUBSTANCES WITHIN THE AREA OF WORK SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS.		
14. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.		
15. DISPOSE OF MATERIALS OFF SITE.		
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.		
		<p>DEMOLITION NOTES</p> <ul style="list-style-type: none"> 1.1 REMOVE AND DISPOSE OF WALL-MOUNTED/CHALK BOARDS. MAKE GOOD AFFECTED AREA. 1.2 REMOVE AND DISPOSE OF EXISTING MILLWORK (AND FLOOR MOUNTED MILLWORK WHERE APPLICABLE). MAKE GOOD AFFECTED AREA. 1.3 REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED AS REQUIRED TO COMPLETE NEW WORK. REMOVE EXISTING GAS CONNECTION. SAWCUT EXIST. SLAB AS REQUIRED TO COMPLETE MECHANICAL WORK. REMOVAL INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES/EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK. 1.4 CONTRACTOR IS TO REMOVE EXISTING VCT FLOOR AND INVESTIGATE EXISTING CONCRETE SLAB. BASED ON FINDING THE CONTRACTOR IS TO LEVEL, PATCH, REPAIR AND MAKE GOOD EXISTING CONCRETE SLAB. PREPARE SLAB FOR NEW FLOORING INFILL. 1.5 REMOVE EXISTING LIGHT FIXTURES ONLY. EXISTING T-BAR GRID AND ACOUSTIC PANELS TO REMAIN. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES. 1.6 REMOVE AND DISPOSE MILLWORK IN ITS ENTIRETY. PATCH, REPAIR, PAINT AND MAKE GOOD ALL AFFECTED SURFACES. 1.7 REMOVE EXISTING DOUBLE DOORS AND FRAME. EXISTING SCREEN TO REMAIN. PATCH, REPAIR, PAINT AND MAKE GOOD ALL AFFECTED SURFACES. 1.8 REMOVE EXISTING RADIATOR CABINETS. PROVIDE NEW PAINT FINISH TO MATCH EXISTING AND REINSTALL. CLEAN EXISTING RADIATOR FINNS. 1.9 REMOVE EXISTING SIDEWALL GRILLES. CLEAN, PAINT AND REINSTALL EXISTING GRILLES. 1.10 ALLOW FOR NEW OPENING ABOVE EXISTING WINDOW, THROUGH EXISTING BRICK FACE WALL (FOR NEW VENT PIPE - REFER TO MECH.). PATCH, REPAIR, PAINT AND MAKE GOOD EXISTING EXTERIOR WALL AND EXISTING BULKHEAD. 1.11 ALL EXISTING SERVICES SHOWN ARE A GENERAL REPRESENTATION ONLY OF ACTUAL ONSITE CONDITIONS. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF EXISTING VENT PIPE AND OTHER SERVICES PRIOR TO CONSTRUCTION AND REPORT ALL DISCREPANCIES TO THE CONSULTANT IN A TIMELY MANNER.



2 PART FIRST FLOOR DEMOLITION PLAN (DOOR 100)
1:50

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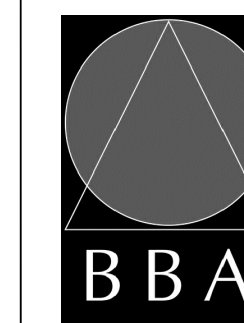
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NO.	REVISIONS	DATE	BY

PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

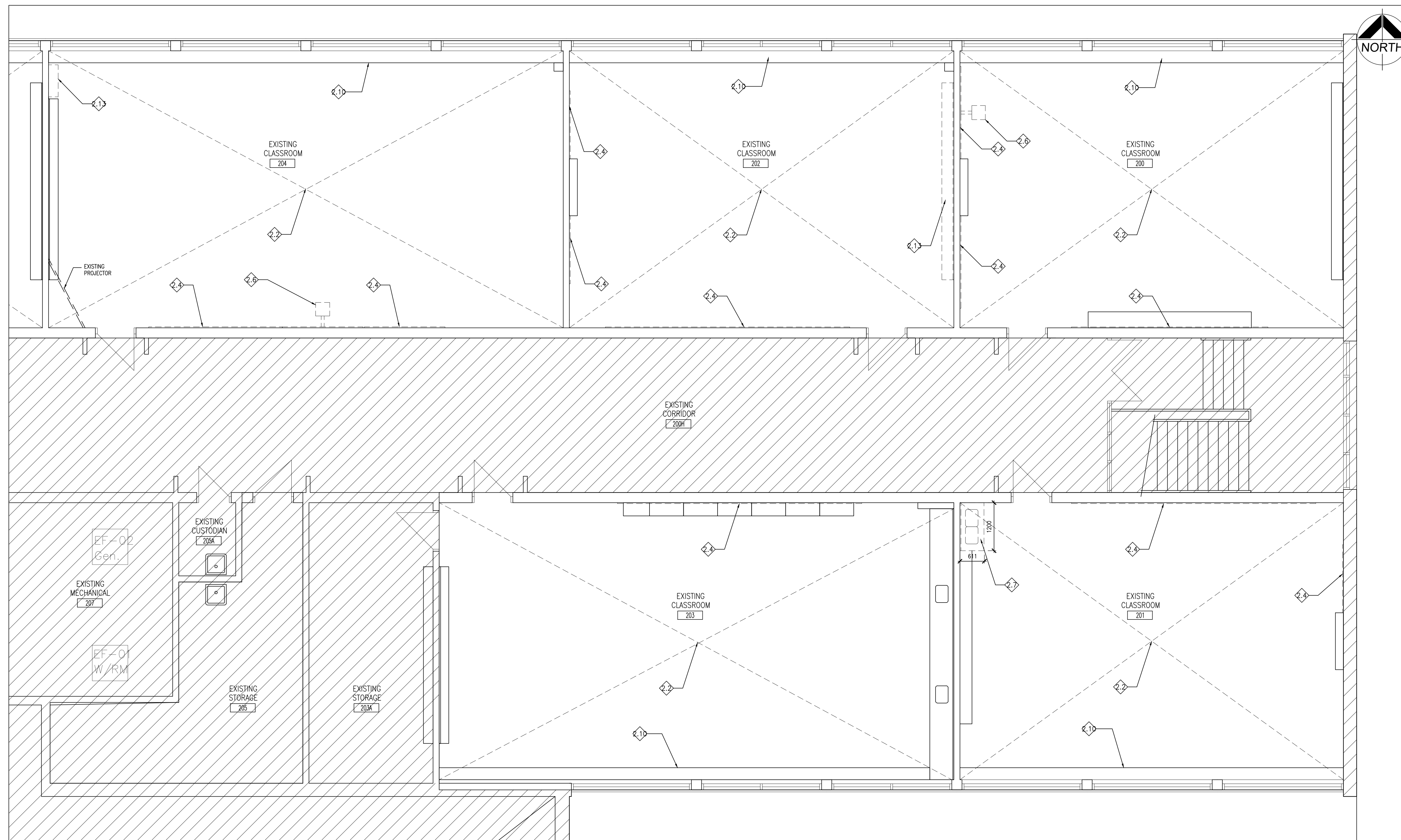
DRAWING:
**PART SECOND
DEMOLITION FLOOR PLAN**



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Suite 201
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L1N 0G5
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DRAWN BY: LO	% COMPLETE:
CHECKED BY: CG	INITIAL:
DATE: MARCH 2024	
SCALE: AS NOTED	
FILE:	

PROJECT NO: **24035**
DRAWING NO: **A204**

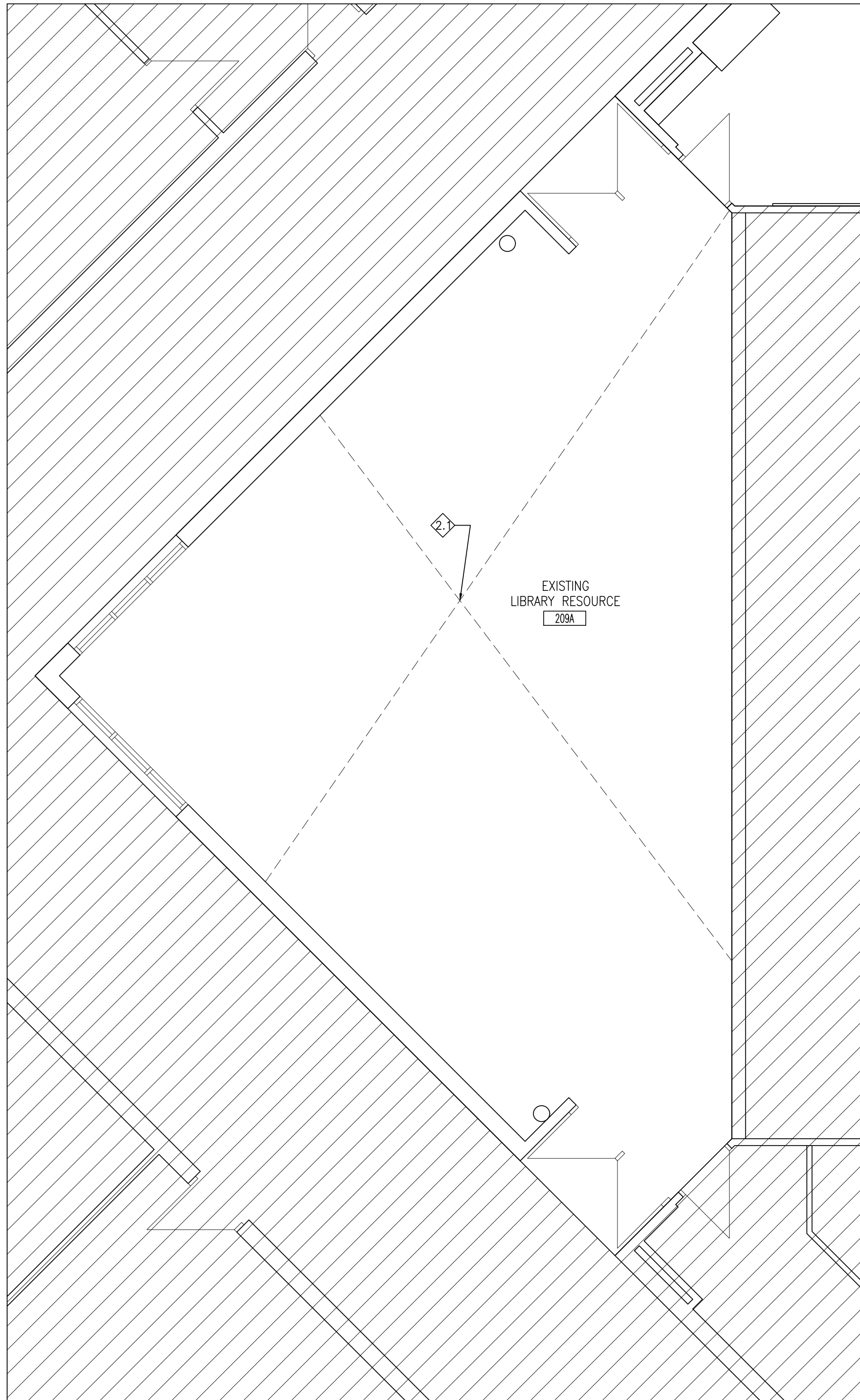


1 A204 PART SECOND FLOOR DEMOLITION PLAN(200,201,202,203,204,205)
1:50

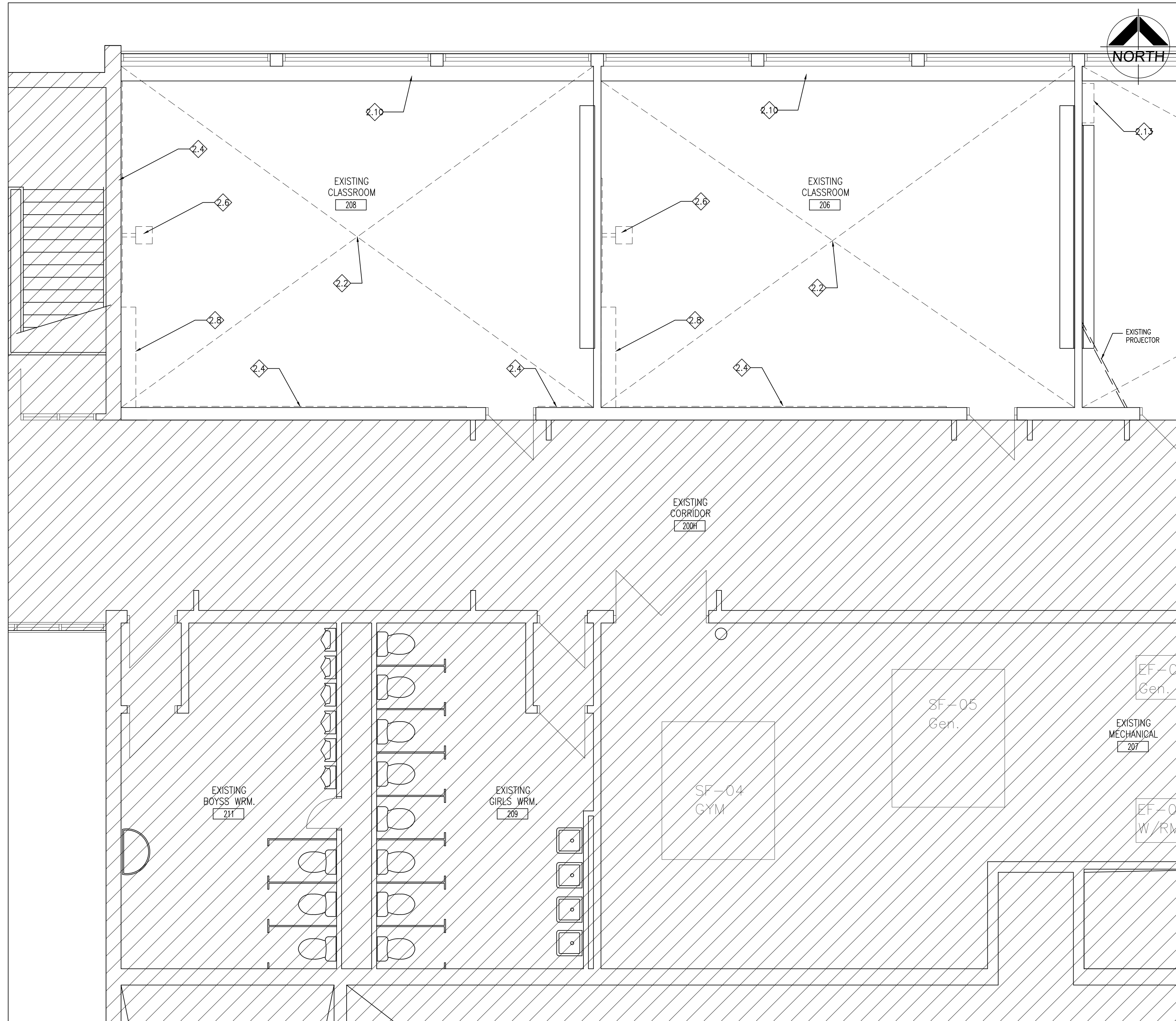
- GENERAL DEMOLITION NOTES**
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 - MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND MOSTY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
 - MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.
 - CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCARIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND PLAST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
 - DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
 - DISPOSE OF MATERIALS OFF SITE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
 - BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.
 - COVER AND PROTECT EXISTING FLOORS PRIOR TO AND FOR THE ENTIRE DURATION OF CONSTRUCTION.
 - REFER TO PRE-RENOVATION HAZARDOUS BUILDING MATERIALS SURVEY REPORT PREPARED BY FINCHIN. ALL HAZARDOUS MATERIAL/SUBSTANCES WITHIN THE AREA OF WORK SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS.

- DEMOLITION LEGEND**
- EXISTING WALL, PARTITION OR COLUMN
 - DEMOTES DEMOLITION OF BUILDING ELEMENT
 - EXISTING DOOR, FRAME AND TRIM TO REMAIN
 - EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.
 - DEMOTES NOT IN CONTRACT

- DEMOLITION NOTES**
- REMOVE EXISTING LIGHT FIXTURES ONLY. EXISTING T-BAR GRID AND ACOUSTIC PANELS TO REMAIN. PATCH, REPAIR NANO MAKE GOOD ALL AFFECTED SURFACES.
 - REMOVE EXISTING ACOUSTIC CEILING TILE AND LIGHT FIXTURES IN THEIR ENTIRETY. PATCH, REPAIR AND MAKE GOOD EXISTING. PREPARE FOR NEW T-BAR GRID AND ACOUSTIC CEILING TILES.
 - PREPARE EXISTING CONCRETE BLOCK WALLS TO RECEIVE NEW PAINT FINISH. PREPARE EXISTING DOORS TO RECEIVE NEW PAINT FINISH.
 - REMOVE AND DISPOSE OF WALL-MOUNTED/CHALK BOARDS. MAKE GOOD AFFECTED AREA.
 - REMOVE AND DISPOSE OF EXISTING POWER POLE AND CAP IN THE CENTRE OF THE ROOM.
 - REMOVE EXISTING SMART BOARD AND ALL ASSOCIATED ELECTRICAL.
 - REMOVE AND DISPOSE OF EXISTING MILLWORK AND EXISTING PLUMBING FIXTURE (SINK AND FAUCET). PREPARE AREA FOR NEW MILLWORK AND NEW SINK. SAWCUT EXIST. SLAB AS REQUIRED TO COMPLETE MECHANICAL WORK.
 - REMOVE AND DISPOSE OF EXISTING HANGING MILLWORK. PATCH, REPAIR, PAINT AND MAKE GOOD EXISTING BLOCK WALL. INFILL ANY OPENINGS.
 - REMOVE EXISTING COUNTER TOP ONLY TO THE EXTENT SHOWN. EXISTING MILLWORK BASE WITH CUPBOARDS AND DRAWERS TO REMAIN. PREPARE FOR NEW COUNTERTOP.
 - REMOVE EXISTING RADIATOR CABINETS. PROVIDE NEW PAINT FINISH TO MATCH EXISTING AND REINSTALL. CLEAN EXISTING RADIATOR FINIS.
 - REMOVE EXISTING SIDEWALL GRILLES. CLEAN, PAINT AND REINSTALL EXISTING GRILLES.
 - NOT USED.
 - REMOVE AND DISPOSE MILLWORK IN ITS ENTIRETY. PATCH, REPAIR, PAINT AND MAKE GOOD ALL AFFECTED SURFACES.



2 PART SECOND FLOOR DEMOLITION PLAN (209A)
A205 1:50



1 PART SECOND FLOOR DEMOLITION PLAN (206,208)
A205 1:50

GENERAL DEMOLITION NOTES

- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
- PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
- PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.

- MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
- MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.
- CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCARIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
- DISPOSE OF MATERIALS OFF SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.
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DEMOLITION LEGEND

- EXISTING WALL, PARTITION OR COLUMN
- DEMOTES DEMOLITION OF BUILDING ELEMENT
- EXISTING DOOR, FRAME AND TRIM TO REMAIN
- EXISTING DOOR, FRAME AND TRIM TO BE CAREFULLY REMOVED AND DISPOSED OF.
- DEMOTES NOT IN CONTRACT

DEMOLITION NOTES

- REMOVE EXISTING LIGHT FIXTURES ONLY. EXISTING T-BAR GRID AND ACOUSTIC PANELS TO REMAIN. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES.
- REMOVE EXISTING ACOUSTIC CEILING TILE AND LIGHT FIXTURES IN THEIR ENTIRETY. PATCH, REPAIR AND MAKE GOOD EXISTING. PREPARE FOR NEW T-BAR GRID AND ACOUSTIC CEILING TILES.
- PREPARE EXISTING CONCRETE BLOCK WALLS TO RECEIVE NEW PAINT FINISH. PREPARE EXISTING DOORS TO RECEIVE NEW PAINT FINISH.
- REMOVE AND DISPOSE OF WALL-MOUNTED/CHALK BOARDS. MAKE GOOD AFFECTED AREA.
- REMOVE AND DISPOSE OF EXISTING POWER POLE AND CAP IN THE CENTRE OF THE ROOM.
- REMOVE EXISTING SMART BOARD AND ALL ASSOCIATED ELECTRICAL.
- REMOVE AND DISPOSE OF EXISTING MILLWORK AND EXISTING PLUMBING FIXTURE (SINK AND FAUCET). PREPARE AREA FOR NEW MILLWORK AND NEW SINK. SAWCUT EXIST. SLAB AS REQUIRED TO COMPLETE MECHANICAL WORK.
- REMOVE AND DISPOSE OF EXISTING HANGING MILLWORK. PATCH, REPAIR, PAINT AND MAKE GOOD EXISTING BLOCK WALL. INFILL ANY OPENINGS.
- REMOVE EXISTING COUNTER TOP ONLY TO THE EXTENT SHOWN. EXISTING MILLWORK BASE WITH CUPBOARDS AND DRAWERS TO REMAIN. PREPARE FOR NEW COUNTERTOP.
- REMOVE EXISTING RADIATOR CABINETS. PROVIDE NEW PAINT FINISH TO MATCH EXISTING AND REINSTALL. CLEAN EXISTING RADIATOR GRILLES.
- REMOVE EXISTING SIDEWALL GRILLES. CLEAN, PAINT AND REINSTALL EXISTING GRILLES.
- NOT USED.
- REMOVE AND DISPOSE MILLWORK IN ITS ENTIRETY. PATCH, REPAIR, PAINT AND MAKE GOOD ALL AFFECTED SURFACES.

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1	ISSUED FOR REVIEW	MAR 22 2024	BBA
2	ISSUED FOR TENDER	APRIL 18 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
**PART SECOND
DEMOLITION FLOOR PLAN**



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DESIGN BY: BBA	DOC CONTROL: DATE:
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CHECKED BY: CG	INITIAL:
DATE: MARCH 2024	SCALE: AS NOTED
FILE:	

PROJECT NO: **24035**
DRAWING NO: **A205**

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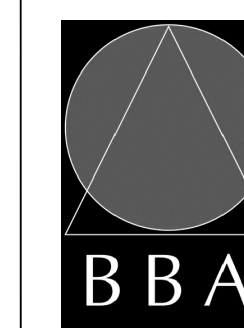
NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	MAR 22 2024	BBA
2	ISSUED FOR TENDER	APRIL 18 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
**PART SECOND
FLOOR DEMOLITION PLAN**



**BARRY BRYAN
ASSOCIATES**

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DESIGN BY: BBA DOC CONTROL: DATE:

DRAWN BY: LO % COMPLETE:

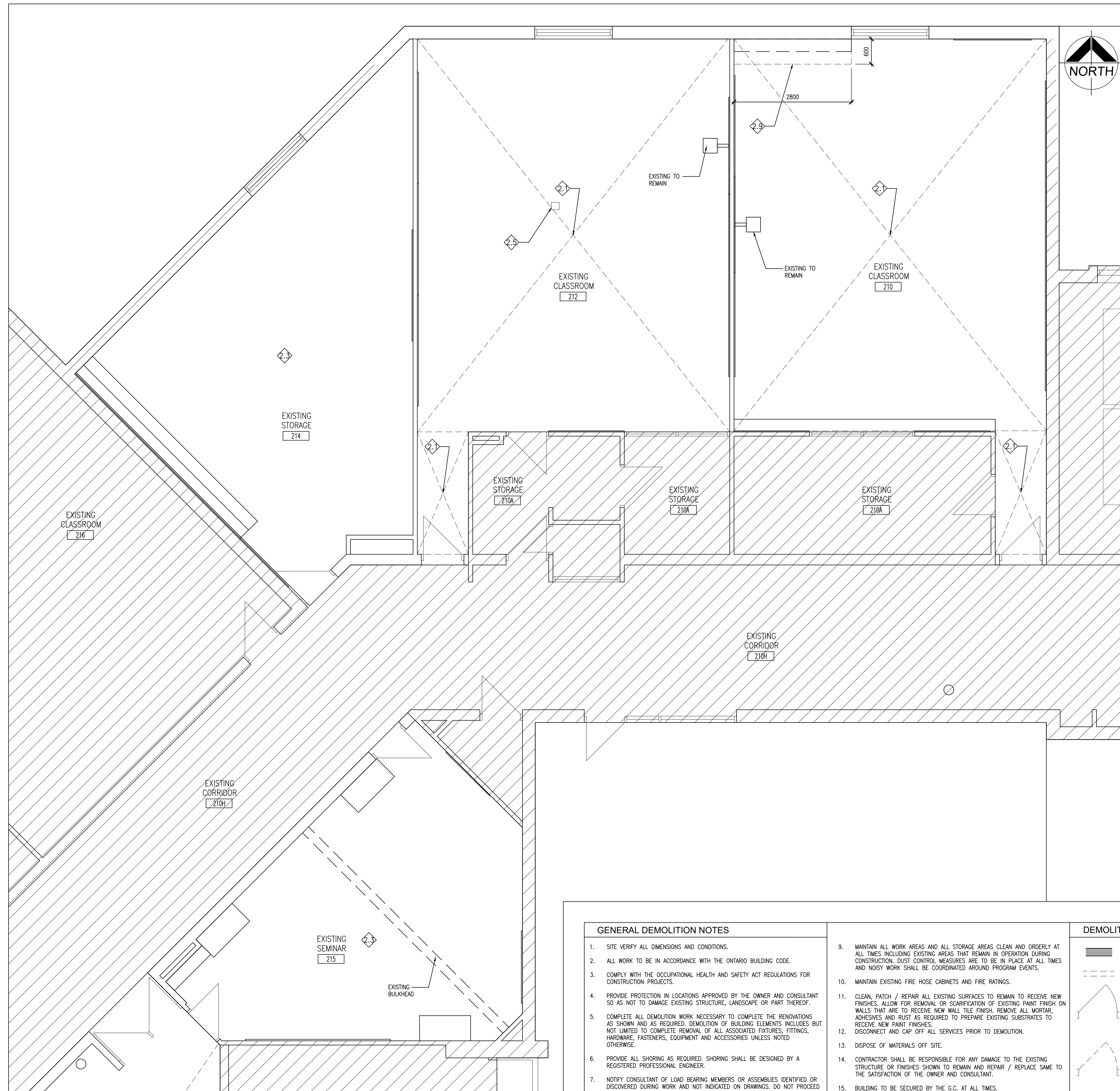
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DATE: MARCH 2024

SCALE: AS NOTED

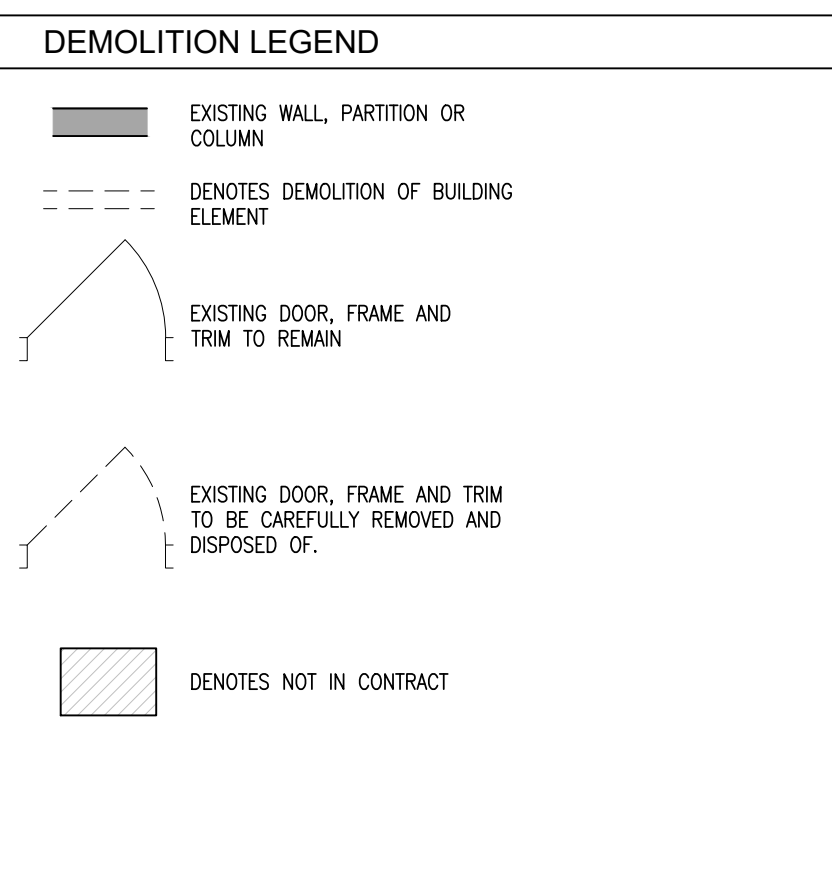
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PROJECT NO: **24035** DRAWING NO: **A206**



1 PART SECOND FLOOR DEMOLITION PLAN (210,212,214,215)
A206 1:50

- GENERAL DEMOLITION NOTES**
- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
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 - COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
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 - MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.
 - CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCARIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
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- DEMOLITION NOTES**
- REMOVE EXISTING LIGHT FIXTURES ONLY. EXISTING T-BAR GRID AND ACOUSTIC PANELS TO REMAIN. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES.
 - REMOVE EXISTING ACOUSTIC CEILING TILE AND LIGHT FIXTURES IN THEIR ENTIRETY. PATCH, REPAIR AND MAKE GOOD EXISTING. PREPARE FOR NEW T-BAR GRID AND ACOUSTIC CEILING TILES.
 - PREPARE EXISTING CONCRETE BLOCK WALLS TO RECEIVE NEW PAINT FINISH. PREPARE EXISTING DOORS TO RECEIVE NEW PAINT FINISH.
 - REMOVE AND DISPOSE OF WALL-MOUNTED/CHALK BOARDS. MAKE GOOD AFFECTED AREA.
 - REMOVE AND DISPOSE OF EXISTING POWER POLE AND CAP IN THE CENTRE OF THE ROOM.
 - REMOVE EXISTING SMART BOARD AND ALL ASSOCIATED ELECTRICAL.
 - REMOVE AND DISPOSE OF EXISTING MILLWORK AND EXISTING PLUMBING FIXTURE (SINK AND FAUCET). PREPARE AREA FOR NEW MILLWORK AND NEW SINK. SAWCUT EXIST. SLAB AS REQUIRED TO COMPLETE MECHANICAL WORK.
 - REMOVE AND DISPOSE OF EXISTING HANGING MILLWORK. PATCH, REPAIR, PAINT AND MAKE GOOD EXISTING BLOCK WALL INFILL ANY OPENINGS.
 - REMOVE EXISTING COUNTER TOP ONLY TO THE EXTENT SHOWN. EXISTING MILLWORK BASE WITH CUPBOARDS AND DRAWERS TO REMAIN. PREPARE FOR NEW COUNTERTOP.

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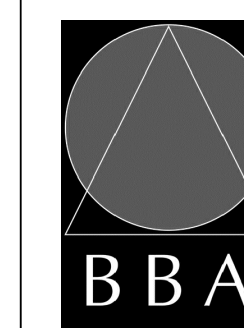
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1	ISSUED FOR REVIEW	MAR 22 2024	BBA
2	ISSUED FOR TENDER	APRIL 18 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

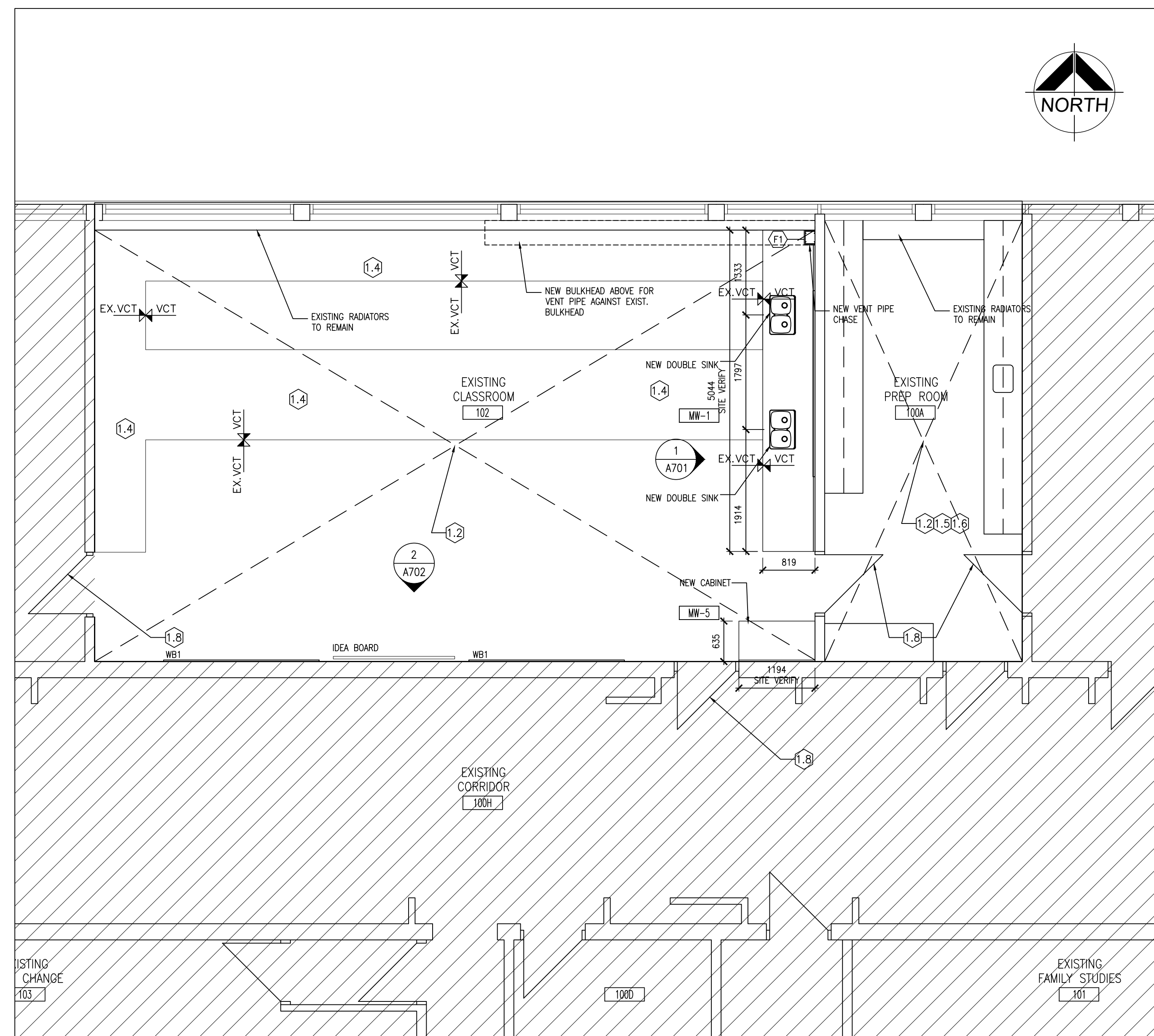
DRAWING:
PART FIRST FLOOR PLAN



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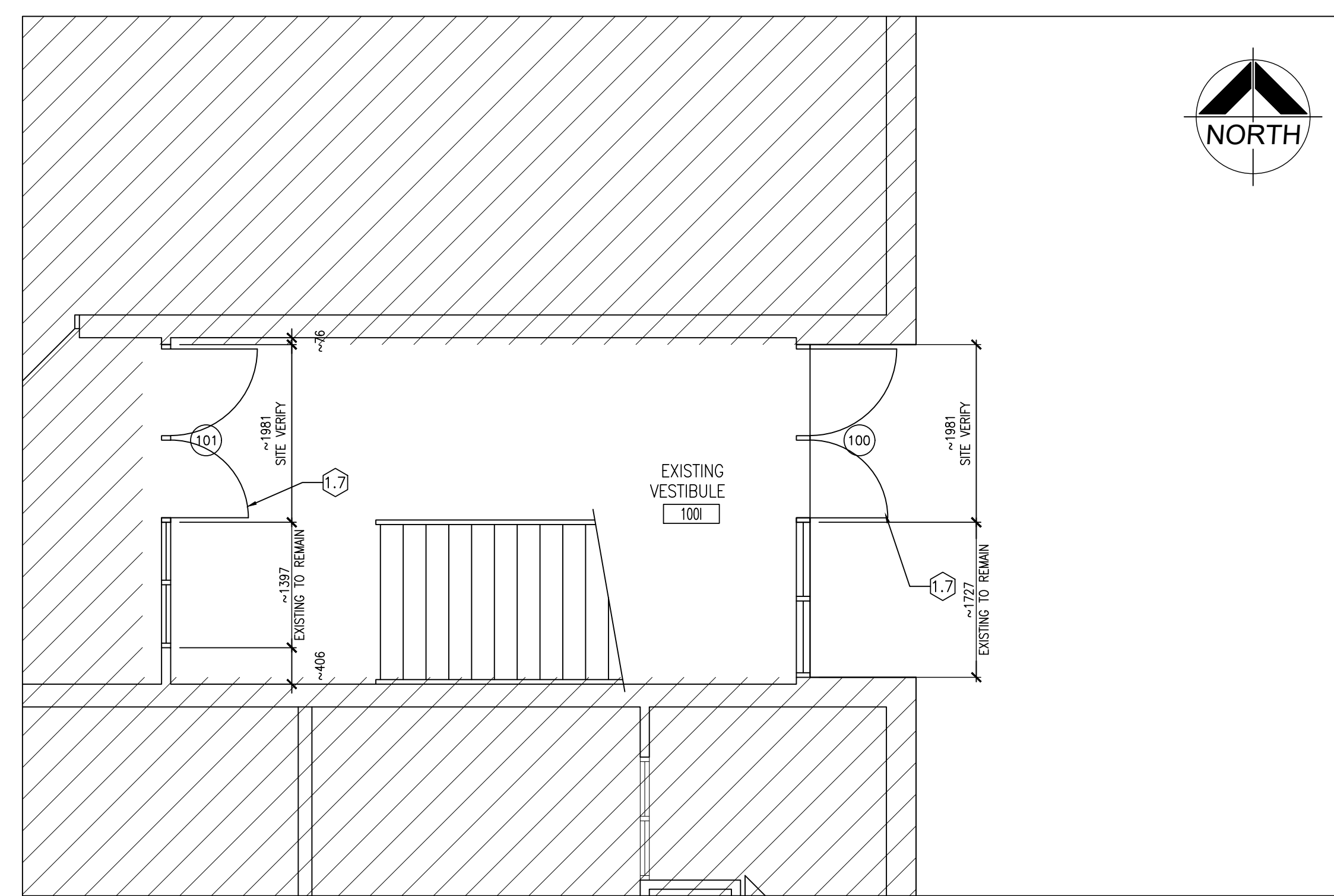
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PROJECT NO: **24035** DRAWING NO: **A207**

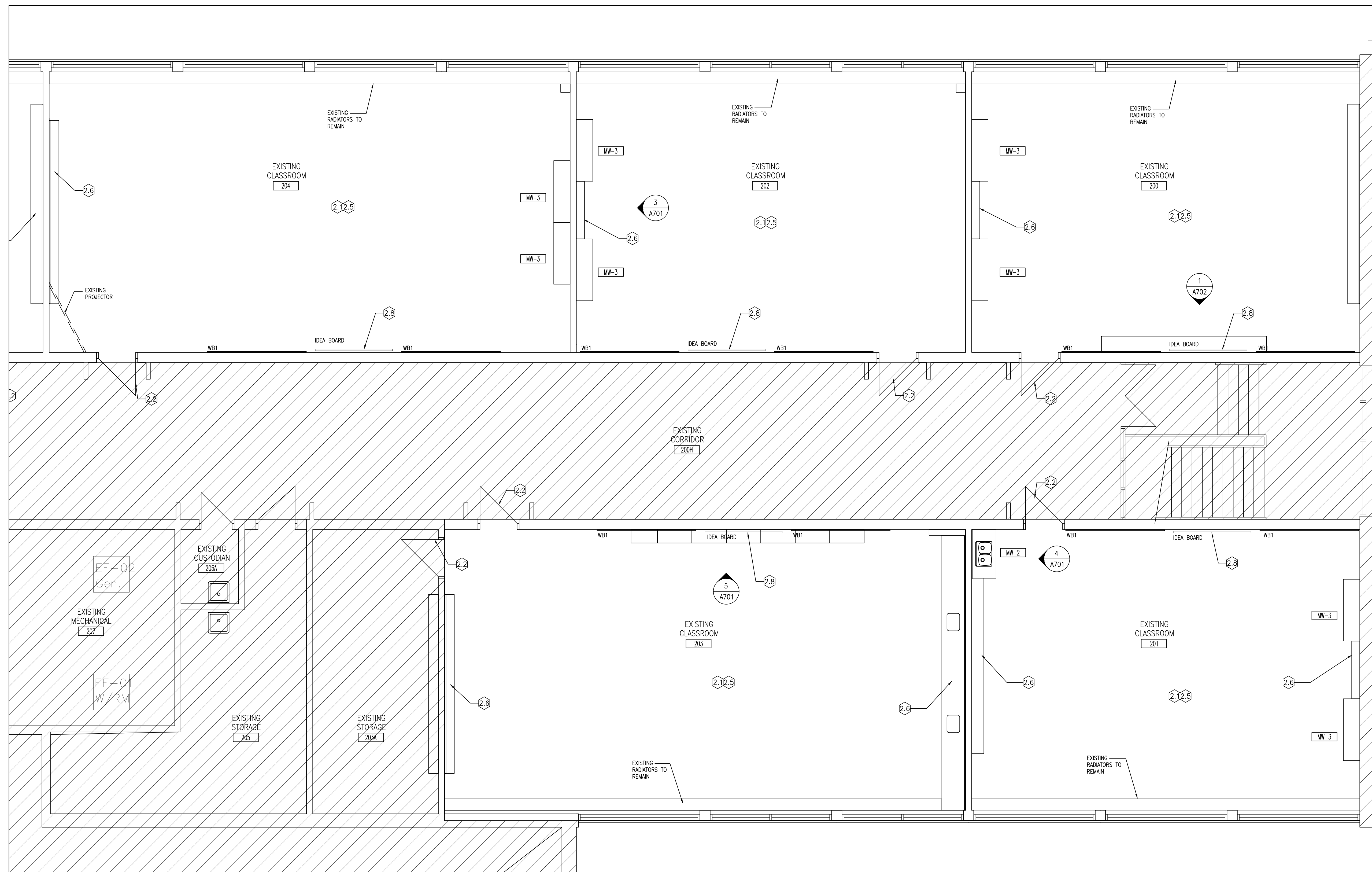
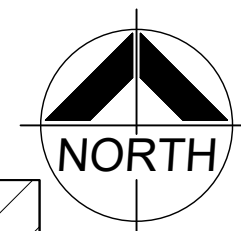


1 PART FIRST FLOOR PLAN (102 & 100A)
1:50

FLOOR PLAN NOTATION LEGEND		FLOOR PLAN NOTES
CA	CORRIDOR	ROOM NAME & NUMBER
⊕XX	INTERIOR PARTITION OR FURRING TYPE	NOT USED
SC01	INTERIOR GLAZED SCREEN NUMBER	1.2 PROVIDE NEW PAINT FINISH FOR ALL EXISTING INTERIOR BLOCK WALLS. (PAINT COLOUR PT2)
101	DOOR NUMBER	1.3 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR FRAME ONLY (PAINT COLOUR PT3).
MW-1	MILLWORK NUMBER	1.4 PROVIDE NEW FLOORING INFILL AS REQUIRED, PATCH, REPAIR AND MAKE GOOD EXISTING VCT FLOORING.
EX. EX.	FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE)	1.5 PROVIDE NEW PAINT FINISH FOR EXISTING MILLWORK (UPPER AND LOWER CABINETS, DRAWERS, CUPBOARD ETC) IN THEIR ENTIRETY. (PAINT COLOUR PT1).
1/A200	WALL SECTION REFERENCE	1.6 INSPECT EXISTING MILLWORK CABINET DOORS. REPAIR HINGES OF DOORS AS REQUIRED.
1/A200	BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE	1.7 NEW DOORS WITH REMOVABLE MULLION. REFER TO DOOR SCHEDULE.
1/A901	INTERIOR ELEVATION REFERENCE NUMBER	1.8 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR AND FRAME (PAINT COLOUR PT3).
WB1	WHITEBOARD - REFER TO ELEVATIONS FOR SIZING & QUANTITIES	
		FURRING TYPE SCHEDULE
		F1 13 TYP GYPSUM BOARD ON 152 STEEL STUDS @400 C/C to U/S OF SLAB
		**ALL PENETRATIONS TO BE SEALED FIRESTOPPED AND RATED



2 PART FIRST FLOOR PLAN (DOOR 100)
1:50



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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
PART SECOND FLOOR PLAN

1 PART SECOND FLOOR PLAN (200,201,202,203,204)
A208 1:50

FLOOR PLAN NOTATION LEGEND			
CORRIDOR CA	ROOM NAME & NUMBER 1 A200	WALL SECTION REFERENCE 1 A200	INTERIOR ELEVATION REFERENCE NUMBER 1 A901
INTERIOR PARTITION OR FURRING TYPE EX	BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE 1 A200	WHITEBOARD - REFER TO ELEVATIONS FOR SIZING & QUANTITIES WB1	
INTERIOR GLAZED SCREEN NUMBER SC01	DOOR NUMBER 101		
MILLWORK NUMBER MW-1	FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE) EX. EX.		

FLOOR PLAN NOTES	
2.1 PROVIDE NEW PAINT FINISH FOR ALL EXISTING INTERIOR BLOCK WALLS. (PAINT COLOUR PT2)	2.6 PAINT EXISTING MILLWORK UNIT IN ITS ENTIRETY. (PAINT COLOUR PT1)
2.2 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR FRAME ONLY. (PAINT COLOUR PT3)	2.7 NEW LED LIGHT FIXTURES ONLY. PATCH, REPAIR AND MAKE GOOD EXISTING ACT CEILING. REFER TO REFLECTED CEILING PLAN.
2.3 PROVIDE NEW FLOORING INFILL AS REQUIRED. PATCH, REPAIR AND MAKE GOOD EXISTING VCT FLOORING.	2.8 NEW IDEA BOARD (INTERACTIVE DISPLAY BOARD). CONTRACTOR TO PROVIDE ELECTRICAL ROUGH IN REQUIRED FOR IDEA BOARD. THE CLIENT WILL SUPPLY AND INSTALL THE IDEA BOARDS WHERE POSSIBLE THE CONTRACTOR SHOULD FISH WIRE THROUGH EXISTING BLOCK WALL OTHERWISE SURFACE MOUNTED CONDUIT IS ACCEPTABLE.
2.4 NOT USED.	2.9 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR AND FRAME. (PAINT COLOUR PT3)
2.5 NEW T-BAR GRID AND ACOUSTIC CEILING PANELS. NEW LED LIGHT FIXTURES. REFER TO REFLECTED CEILING PLANS.	

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BBA

DRAWN BY:
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DATE:
MARCH 2024

SCALE:
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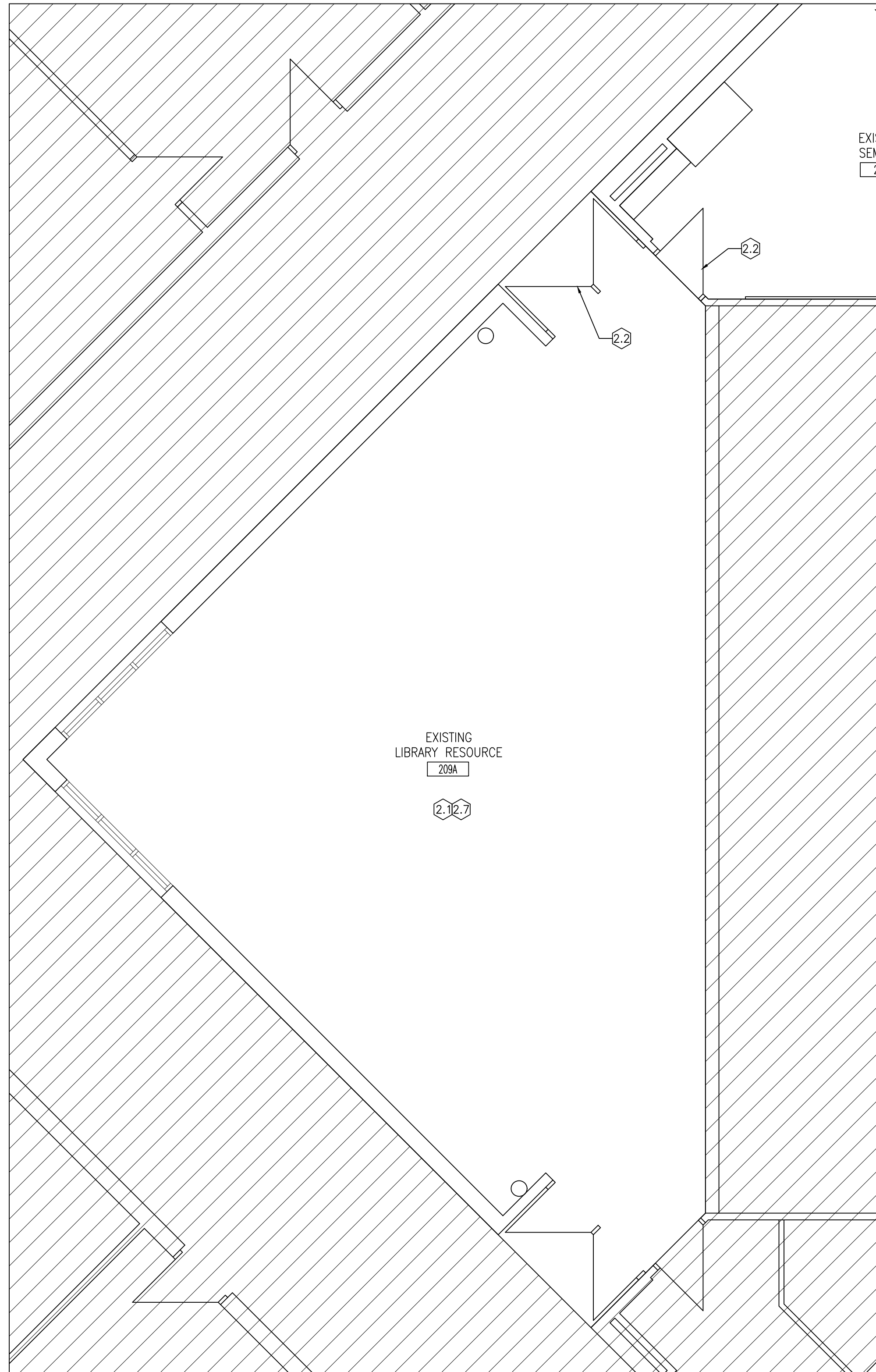
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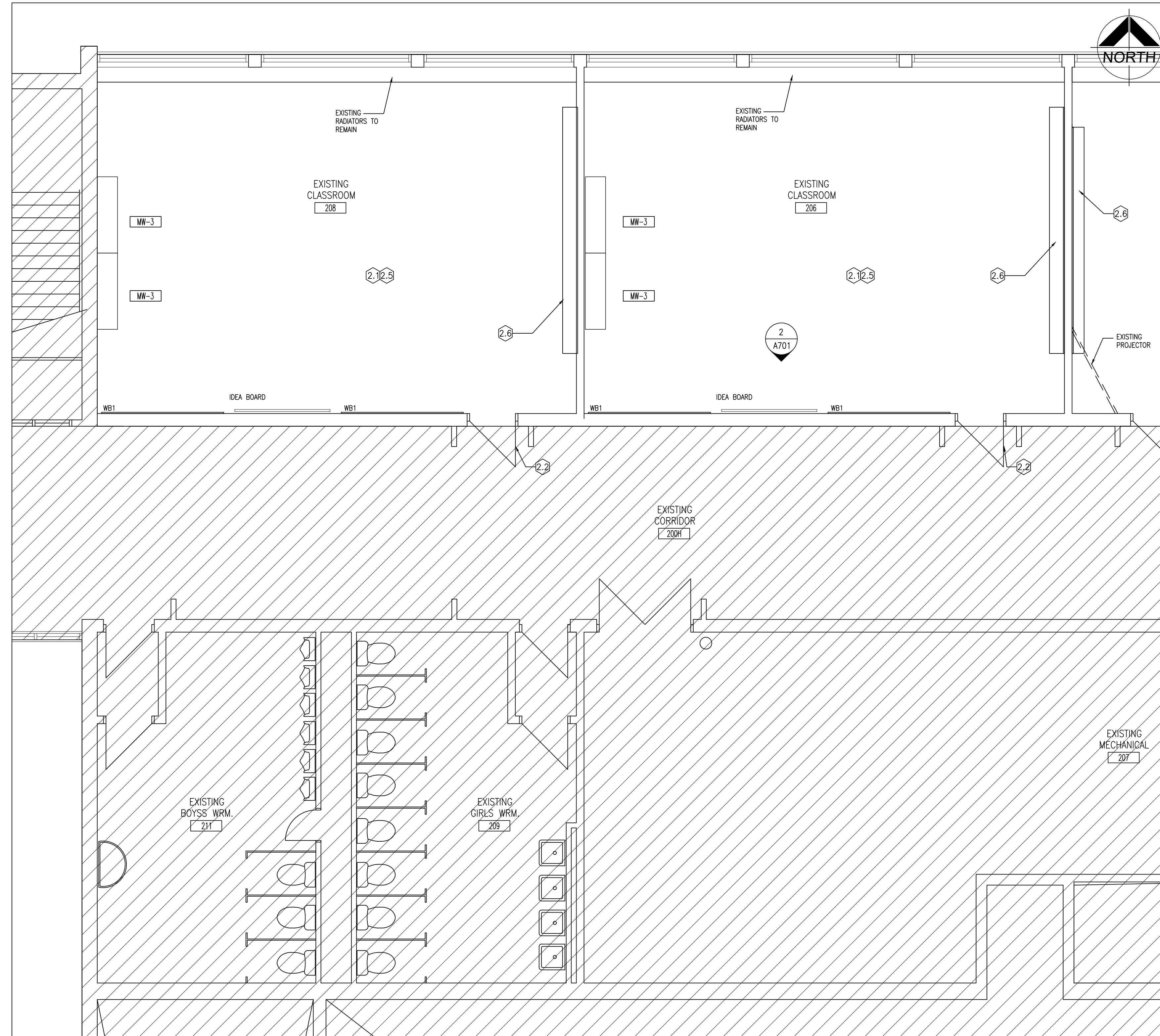
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PROJECT NO: **24035** DRAWING NO: **A208**



2 PART SECOND FLOOR PLAN (209A)
A209 1:50



1 PART SECOND FLOOR PLAN (206,208)
A209 1:50

FLOOR PLAN NOTATION LEGEND

CORRIDOR	ROOM NAME & NUMBER	WALL SECTION REFERENCE	INTERIOR ELEVATION REFERENCE NUMBER
INTERIOR PARTITION OR FURRING TYPE		BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE	WHITEBOARD - REFER TO ELEVATIONS FOR SIZING & QUANTITIES
INTERIOR GLAZED SCREEN NUMBER			
DOOR NUMBER			
MILLWORK NUMBER			
FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE)			

FLOOR PLAN NOTES

- 2.1 PROVIDE NEW PAINT FINISH FOR ALL EXISTING INTERIOR BLOCK WALLS. (PAINT COLOUR PT2)
- 2.2 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR FRAME ONLY. (PAINT COLOUR PT3)
- 2.3 PROVIDE NEW FLOORING INFILL AS REQUIRED. PATCH, REPAIR AND MAKE GOOD EXISTING VCT FLOORING.
- 2.4 NOT USED.
- 2.5 NEW T-BAR GRID AND ACOUSTIC CEILING PANELS. NEW LED LIGHT FIXTURES. REFER TO REFLECTED CEILING PLANS.
- 2.6 PAINT EXISTING MILLWORK UNIT IN ITS ENTIRETY. (PAINT COLOUR PT1)
- 2.7 NEW LED LIGHT FIXTURES ONLY. PATCH, REPAIR AND MAKE GOOD EXISTING ACT CEILING. REFER TO REFLECTED CEILING PLAN.
- 2.8 NEW IDEA BOARD (INTERACTIVE DISPLAY BOARD). CONTRACTOR TO PROVIDE ELECTRICAL ROUGH IN REQUIRED FOR IDEA BOARD. THE CLIENT WILL SUPPLY AND INSTALL THE IDEA BOARDS. WHERE POSSIBLE THE CONTRACTOR SHOULD FISH WIRE THROUGH EXISTING BLOCK WALL OTHERWISE SURFACE MOUNTED CONDUIT IS ACCEPTABLE.
- 2.9 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR AND FRAME. (PAINT COLOUR PT3)

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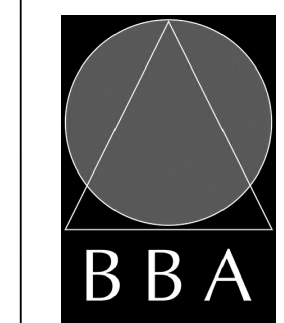
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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

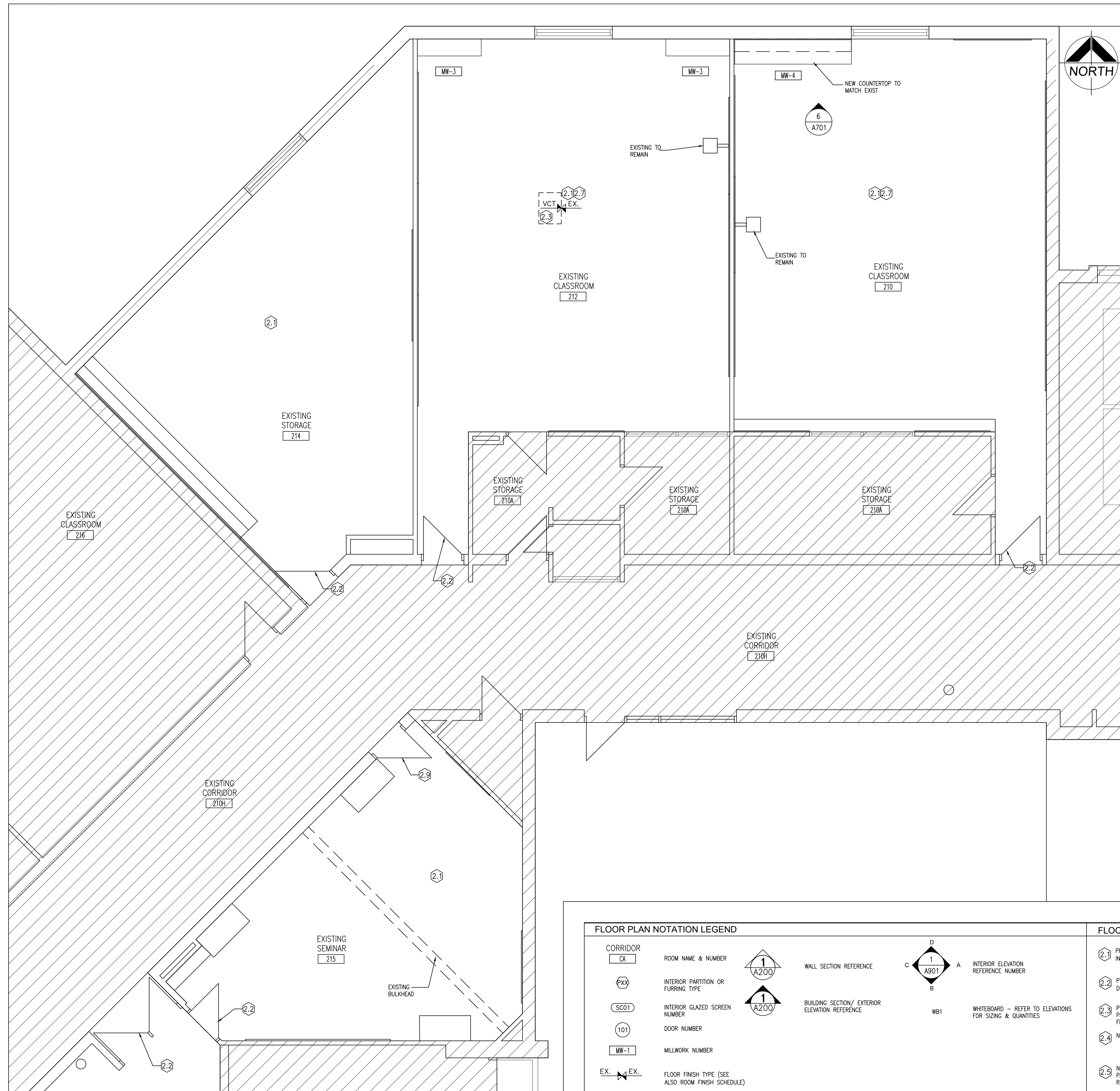
DRAWING:
PART SECOND FLOOR PLAN



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PROJECT NO: **24035** DRAWING NO: **A209**



1
A210 PART SECOND FLOOR PLAN (210,212,214,215)
1:50

FLOOR PLAN NOTATION LEGEND

CORRIDOR	ROOM NAME & NUMBER		WALL SECTION REFERENCE		INTERIOR ELEVATION REFERENCE NUMBER
INTERIOR PARTITION OR FURRING TYPE			BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE		WHITEBOARD - REFER TO ELEVATIONS FOR SIZING & QUANTITIES
INTERIOR GLAZED SCREEN NUMBER					
DOOR NUMBER					
MILLWORK NUMBER					
FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE)					

FLOOR PLAN NOTES

- 2.1 PROVIDE NEW PAINT FINISH FOR ALL EXISTING INTERIOR BLOCK WALLS. (PAINT COLOUR PT2)
- 2.2 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR FRAME ONLY. (PAINT COLOUR PT3)
- 2.3 PROVIDE NEW FLOORING INFILL AS REQUIRED. PATCH, REPAIR AND MAKE GOOD EXISTING VCT FLOORING.
- 2.4 NOT USED.
- 2.5 NEW T-BAR GRID AND ACOUSTIC CEILING PANELS. NEW LED LIGHT FIXTURES. REFER TO REFLECTED CEILING PLANS.
- 2.6 PAINT EXISTING MILLWORK UNIT IN ITS ENTIRETY. (PAINT COLOUR PT1)
- 2.7 NEW LED LIGHT FIXTURES ONLY. PATCH, REPAIR AND MAKE GOOD EXISTING ACT CEILING. REFER TO REFLECTED CEILING PLAN.
- 2.8 NEW IDEA BOARD (INTERACTIVE DISPLAY BOARD). CONTRACTOR TO PROVIDE ELECTRICAL ROUGH IN REQUIRED FOR IDEA BOARD. THE CLIENT WILL SUPPLY AND INSTALL THE IDEA BOARDS. WHERE POSSIBLE THE CONTRACTOR SHOULD FISH WIRE THROUGH EXISTING BLOCK WALL OTHERWISE SURFACE MOUNTED CONDUIT IS ACCEPTABLE.
- 2.9 PROVIDE NEW PAINT FINISH FOR EXISTING DOOR AND FRAME. (PAINT COLOUR PT3)

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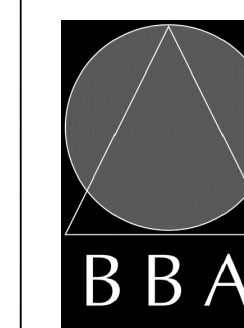
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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
PART SECOND FLOOR PLAN



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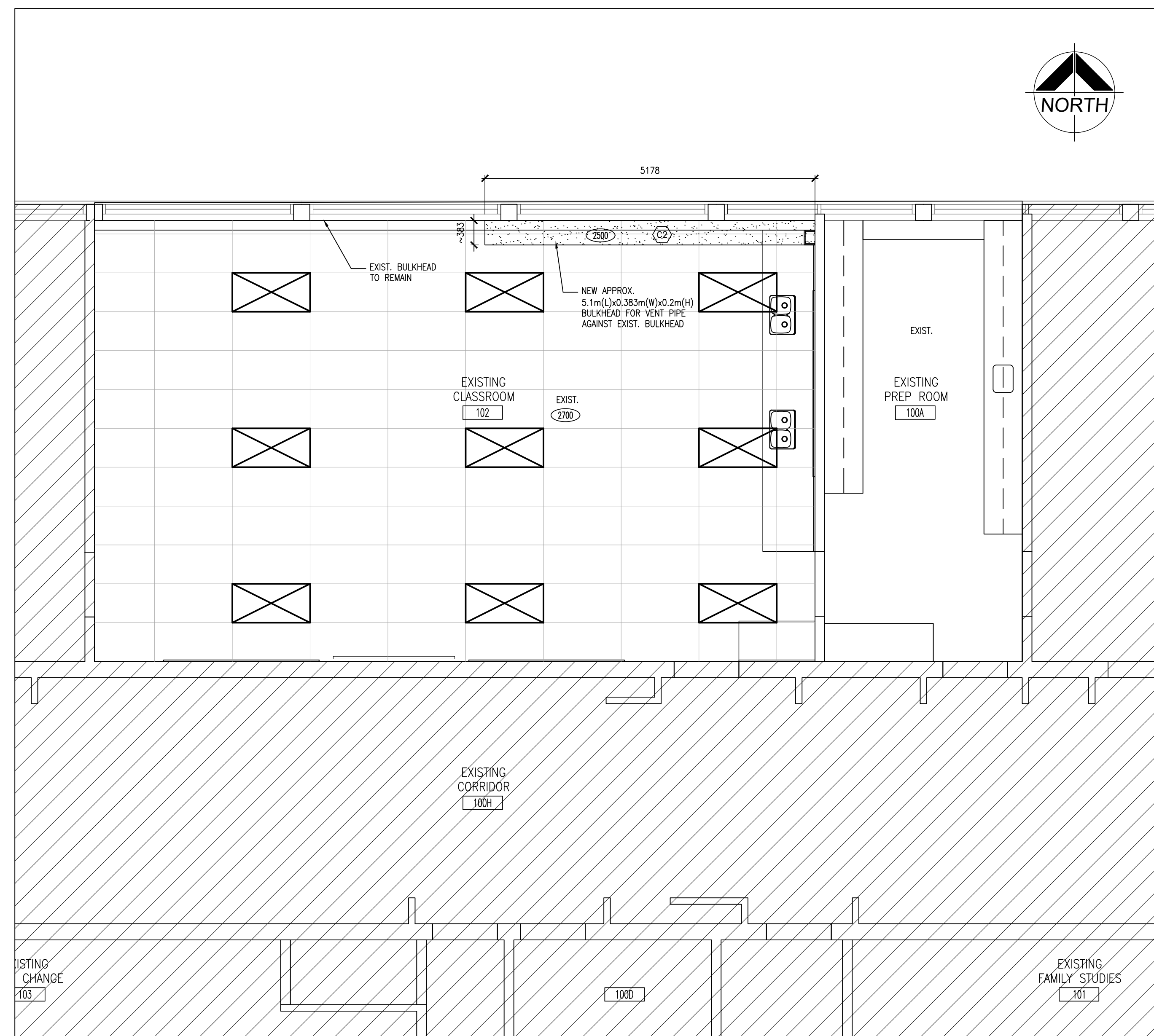
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DRAWING NO:
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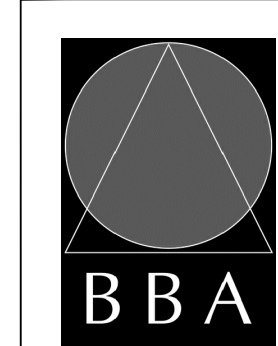


1
A211 PART FIRST FLOOR REFLECTED CEILING PLAN (102 & 100A)
1:50

CEILING NOTATION LEGEND		CEILING TYPES
CORRIDOR	ROOM NAME & NUMBER	RESTRAINED ASSEMBLY RATING 1HR EXIST. ROOF ASSEMBLY EXIST. OWSJ (DEPTH VARIES) BRIDGING (3" DIAM. STL BARS) HANGER WIRE COLD ROLLED CHANNELS (AS REQ.) RATED STEEL T-BAR CEILING GRID SYSTEM RATED ACOUSTIC CEILING TILE (610mmx1220mm) HOLD DOWN CLIPS/ACCESS CLIPS (AS REQ.)
	610x1220 SURFACE MOUNTED LIGHT FIXTURES. REFER TO ELECTRICAL.	**BASED ON ULC DESIGN NO. F204. REFER TO ULC DESIGN NO. F204 FOR ADDITIONAL DESIGN INFORMATION**
	AIR RETURN GRILLE. REFER TO MECHANICAL.	DRYWALL CEILING 13 GYPSUM BOARD ON SUSPENDED STEEL STUD FRAMING *PROVIDE NEW PAINT FINISH*
EXIST.	EXISTING CEILING TO REMAIN	
	CEILING HEIGHT FROM FIN. FLOOR	
	DIFFUSERS. REFER TO MECHANICAL.	

PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

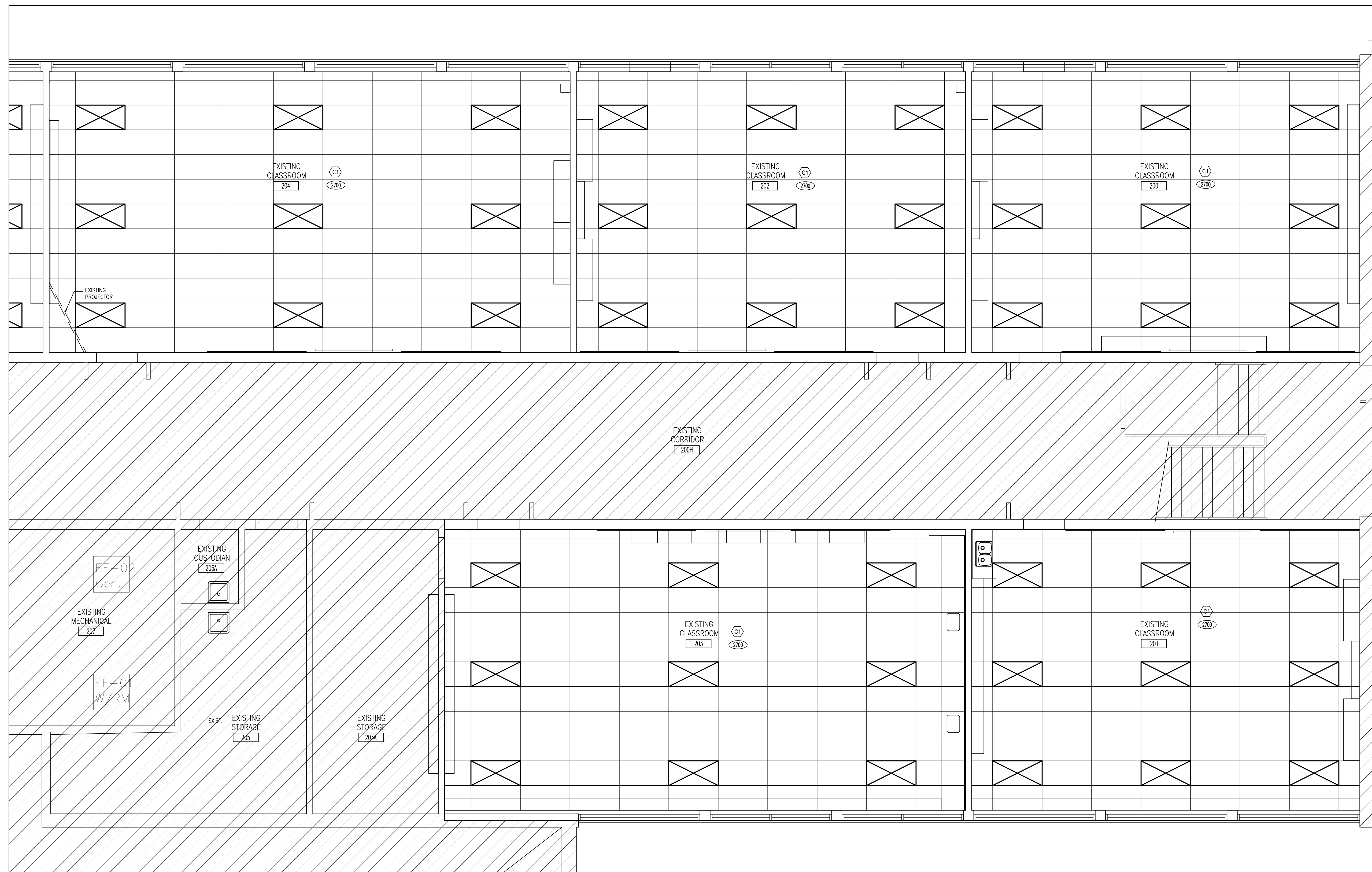
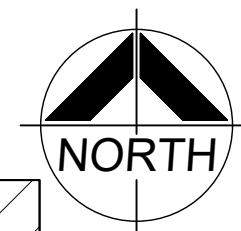
DRAWING:
PART FIRST FLOOR REFLECTED CEILING PLAN



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PROJECT NO:
24035
DRAWING NO:
A211



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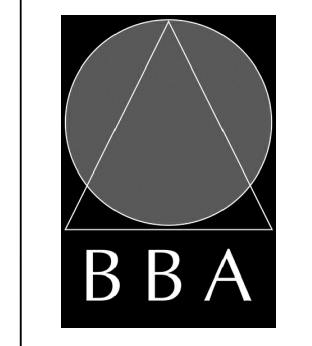
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3425 ON-35
NEWCASTLE, ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
PART SECOND FLOOR REFLECTED CEILING PLAN

1 PART SECOND FLOOR REFLECTED CEILING PLAN (200,201,202,203,204,205)
A212 1:50

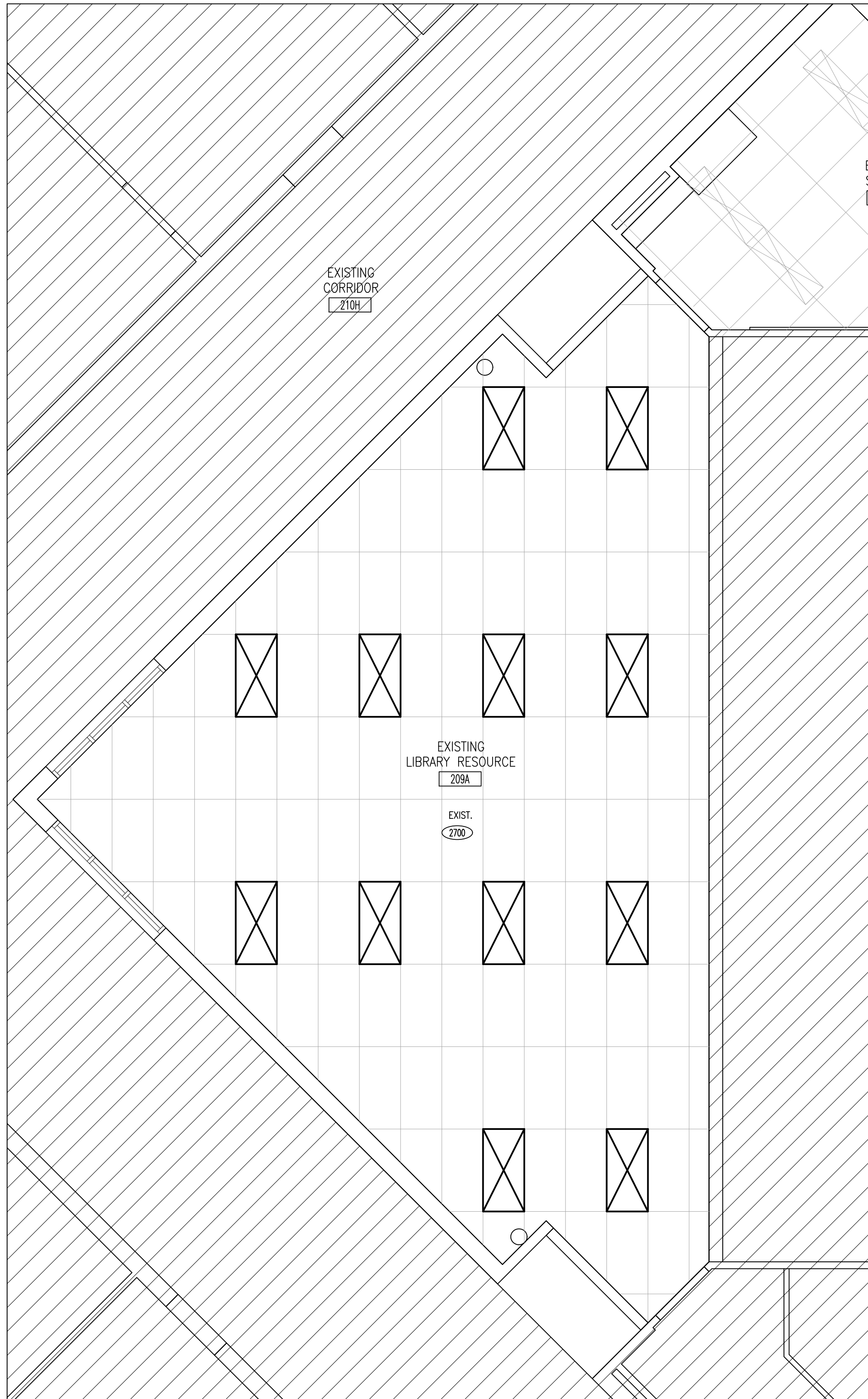
CEILING NOTATION LEGEND		CEILING TYPES
<p>CORRIDOR CA</p> <p>610x1220 SURFACE MOUNTED LIGHT FIXTURES. REFER TO ELECTRICAL.</p> <p>AIR RETURN GRILLE REFER TO MECHANICAL.</p> <p>EXIST. EXISTING CEILING TO REMAIN</p> <p>2100 CEILING HEIGHT FROM FIN. FLOOR</p> <p>DIFFUSERS REFER TO MECHANICAL.</p>	<p>ROOM NAME & NUMBER</p> <p>RESTRAINED ASSEMBLY RATING 1HR EXIST. ROOF ASSEMBLY EXIST. DWSJ (DEPTH VARIES) BRIDGING (1" DIAM. STL BARS) HANGER WIRE COLD ROLLED CHANNELS (AS REQ.) RATED STEEL T-BAR CEILING GRID SYSTEM RATED ACOUSTIC CEILING TILE (610mmx1220mm) HOLD DOWN CLIPS/ACCESS CLIPS (AS REQ.)</p> <p>***BASED ON ULC DESIGN NO. P204. REFER TO ULC DESIGN NO. P204 FOR ADDITIONAL DESIGN INFORMATION***</p>	



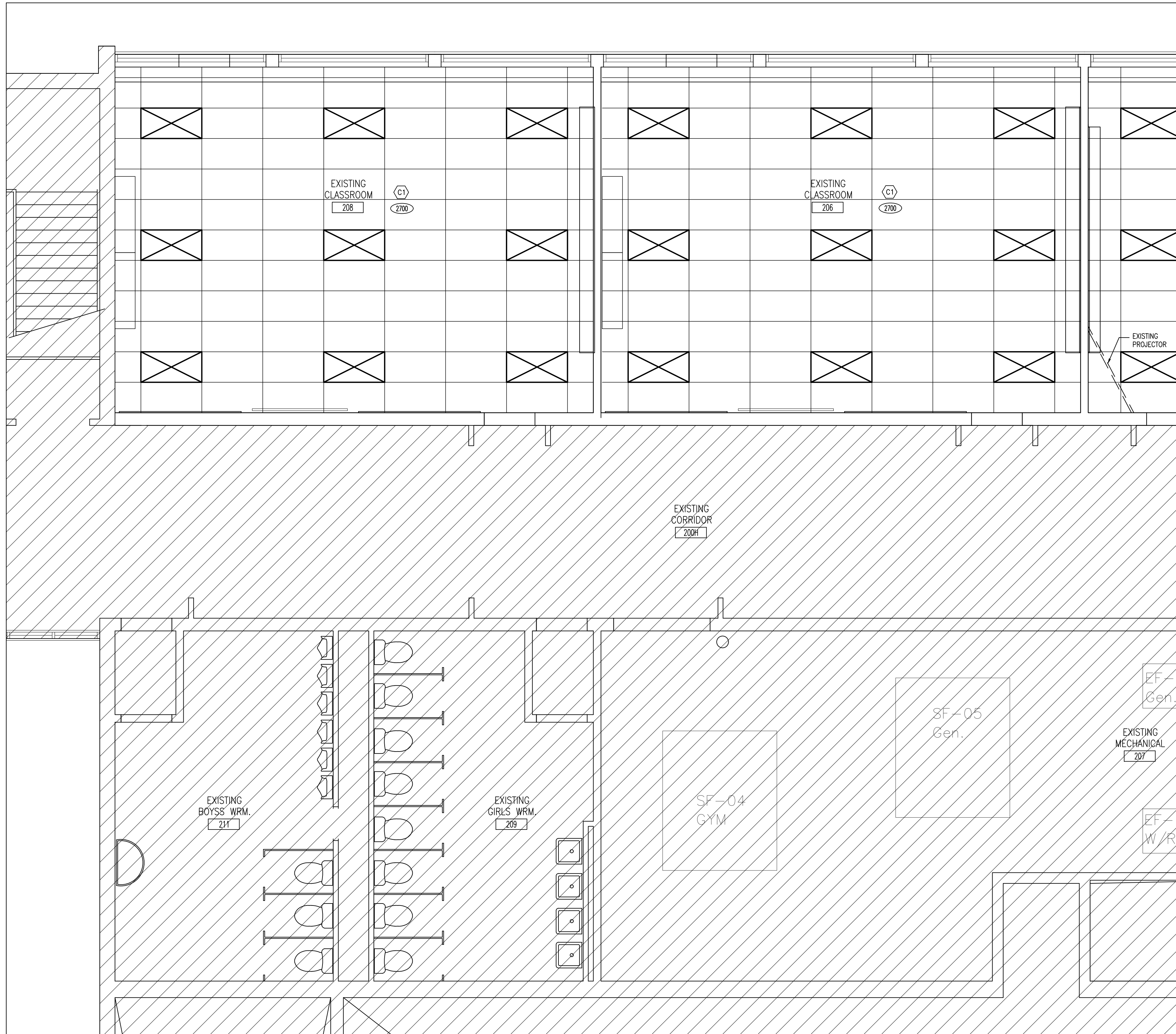
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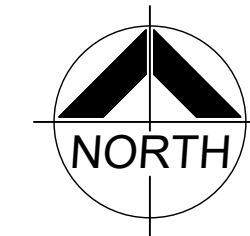
PROJECT NO: **24035** DRAWING NO: **A212**



2 PART SECOND FLOOR REFLECTED CEILING PLAN (209A)
A213 1:50



1 PART SECOND FLOOR REFLECTED CEILING PLAN (206,208)
A213 1:50



CEILING NOTATION LEGEND		CEILING TYPES
CA	CORRIDOR	(C1) RESTRAINED ASSEMBLY RATING 1HR EXIST. ROOF ASSEMBLY EXIST. OWSU (DEPTH VARIES) BRIDGING (1" DIAM. STL. BARS) HANGER WIRE COLD ROLLED CHANNELS (AS REQ.) RATED STEEL T-BAR CEILING GRID SYSTEM RATED ACOUSTIC CEILING TILE (610mmx1220mm) HOLD DOWN CLIPS/ACCESS CLIPS (AS REQ.) ***BASED ON ULC DESIGN NO. P204. REFER TO ULC DESIGN NO. P204 FOR ADDITIONAL DESIGN INFORMATION***
[X]	ROOM NAME & NUMBER	
[X]	610x1220 SURFACE MOUNTED LIGHT FIXTURES. REFER TO ELECTRICAL.	
[■]	AIR RETURN GRILLE REFER TO MECHANICAL.	
EXIST.	EXISTING CEILING TO REMAIN	
(2100)	CEILING HEIGHT FROM FIN. FLOOR	
[X]	DIFFUSERS REFER TO MECHANICAL.	
[X]		
[X]		
[X]		

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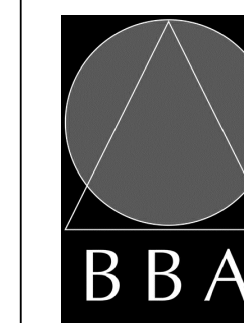
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3425 ON-35
NEWCASTLE ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
PART SECOND FLOOR REFLECTED CEILING PLAN

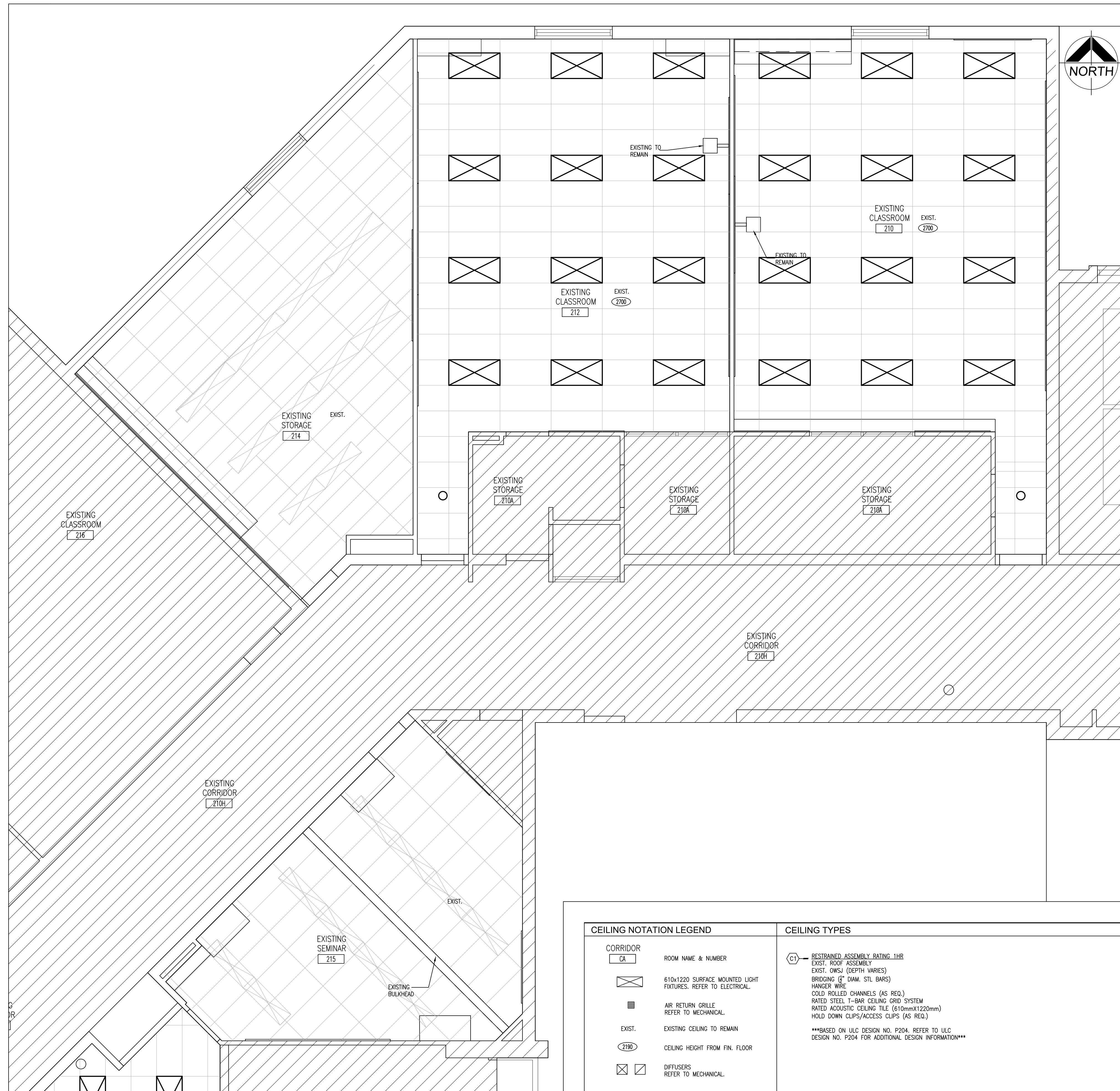


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PROJECT NO:
24035

DRAWING NO:
A213



1 PART SECOND FLOOR REFLECTED CEILING PLAN (210,212,214,215)
A214
1:50

CEILING NOTATION LEGEND		CEILING TYPES
<p>CORRIDOR CA</p> <p>610x1220 SURFACE MOUNTED LIGHT FIXTURES. REFER TO ELECTRICAL.</p> <p>AIR RETURN GRILLE REFER TO MECHANICAL.</p> <p>EXIST. EXISTING CEILING TO REMAIN</p> <p>2150 CEILING HEIGHT FROM FIN. FLOOR</p> <p>DIFFUSERS REFER TO MECHANICAL.</p>	<p>ROOM NAME & NUMBER</p>	<p>RESTRAINED ASSEMBLY RATING 1HR EXIST. ROOF ASSEMBLY EXIST. OWG (DEPTH VARIES) BRIDGING (2" DIAM. STL. BARS) HANGER WIRE COLD ROLLED CHANNELS (AS REQ.) RATED STEEL T-BAR CEILING GRID SYSTEM RATED ACOUSTIC CEILING TILE (610mmx1220mm) HOLD DOWN CLIPS/ACCESS CLIPS (AS REQ.)</p> <p>***BASED ON U.L.C. DESIGN NO. P204. REFER TO U.L.C. DESIGN NO. P204 FOR ADDITIONAL DESIGN INFORMATION**</p>

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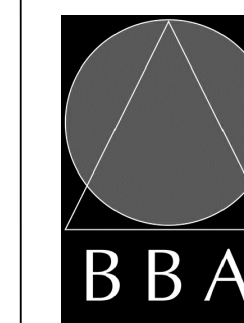
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PROJECT:
**RENOVATIONS TO
CLARKE HIGHSCHOOL**
3425 ON-35
NEWCASTLE, ON L1B1L9

KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
**PART SECOND FLOOR
REFLECTED CEILING PLAN**



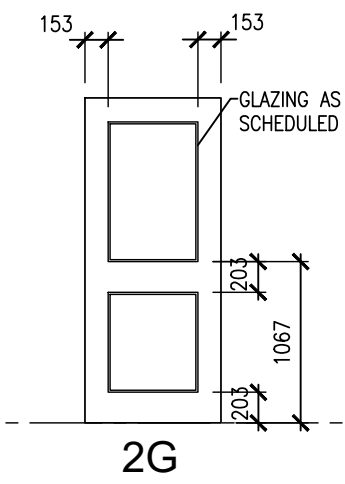
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PROJECT NO:
24035

DRAWING NO:
A214

DOOR AND FRAME SCHEDULE										DOOR HARDWARE				REMARKS	
NO.	SIZE AND THICKNESS	TYPE	MATERIAL	FINISH	GLASS	FRAME				FIRE RATING	HANDLES	CLOSERS	DOOR STOP	HARDWARE	REMARKS
						TYPE	MATERIAL	FINISH	GLASS						
100	865x2150x45 MAIN w 865x2150x45 LEAF	2G	AL	MATCH EX	G1	EX	-	-	EX	PT	●	●	●	●	1,2,3.
101	865x2150x45 MAIN w 865x2150x45 LEAF	2G	AL	MATCH EX	G1	EX	-	-	EX	PT	●	●	●	●	1,2,3.



DOOR TYPES

ROOM SCHEDULE													REMARKS
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	REV.	REMARKS		
				NORTH	EAST	SOUTH	WEST				EX.GB	EX.ACP	
1001	EXISTING VESTIBULE		EX.CONC	EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.GB			*PROVIDE PAINT TOUCH UP TO ANY SURFACES DAMAGED DUE TO WORK.	
102	EXISTING CLASSROOM		EX.CONC	EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP				
203A	EXISTING STORAGE		EX.CONC	EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP			*PROVIDE PAINT TOUCH UP TO ANY SURFACES DAMAGED DUE TO WORK.	
200	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	ACP	2700			
201	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	ACP	2700			
202	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	ACP	2700			
203	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	ACP	2700			
204	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	ACP	2700			
205	EXISTING STORAGE		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP				
206	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	ACP	2700			
208	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	ACP	2700			
210	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP				
212	EXISTING CLASSROOM		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP				
214	EXISTING STORAGE		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP				
215	EXISTING SEMINAR		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP				
209	LIBRARY RESOURCES		EX.CONC	EX.CB	EX.CB	EX.CB	EX.CB	EX.CB	EX.ACP				

FINISHES LEGEND	
PT1:	MILLWORK PAINT COLOUR - BENJAMIN MOORE "REVERSE PEWTER" HC-172 OR APPROVED EQUIVALENT
PT2:	WALL PAINT - BENJAMIN MOORE "CLOUD WHITE" CC-40 OR APPROVED EQUIVALENT
PT3:	DOOR FRAMES PAINT - BENJAMIN MOORE "SYMPHONY BLUE" 2060-10 OR APPROVED EQUIVALENT

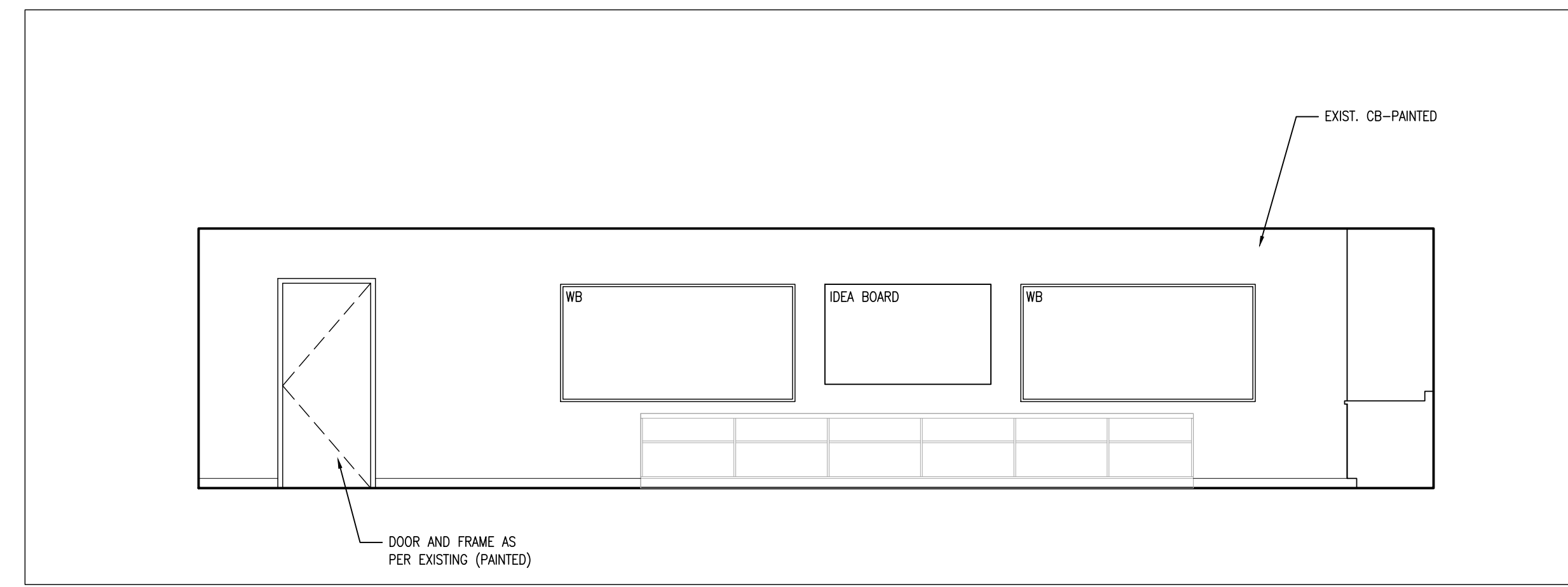
GENERAL NOTES

A. GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISIBILITY REQUIREMENTS.

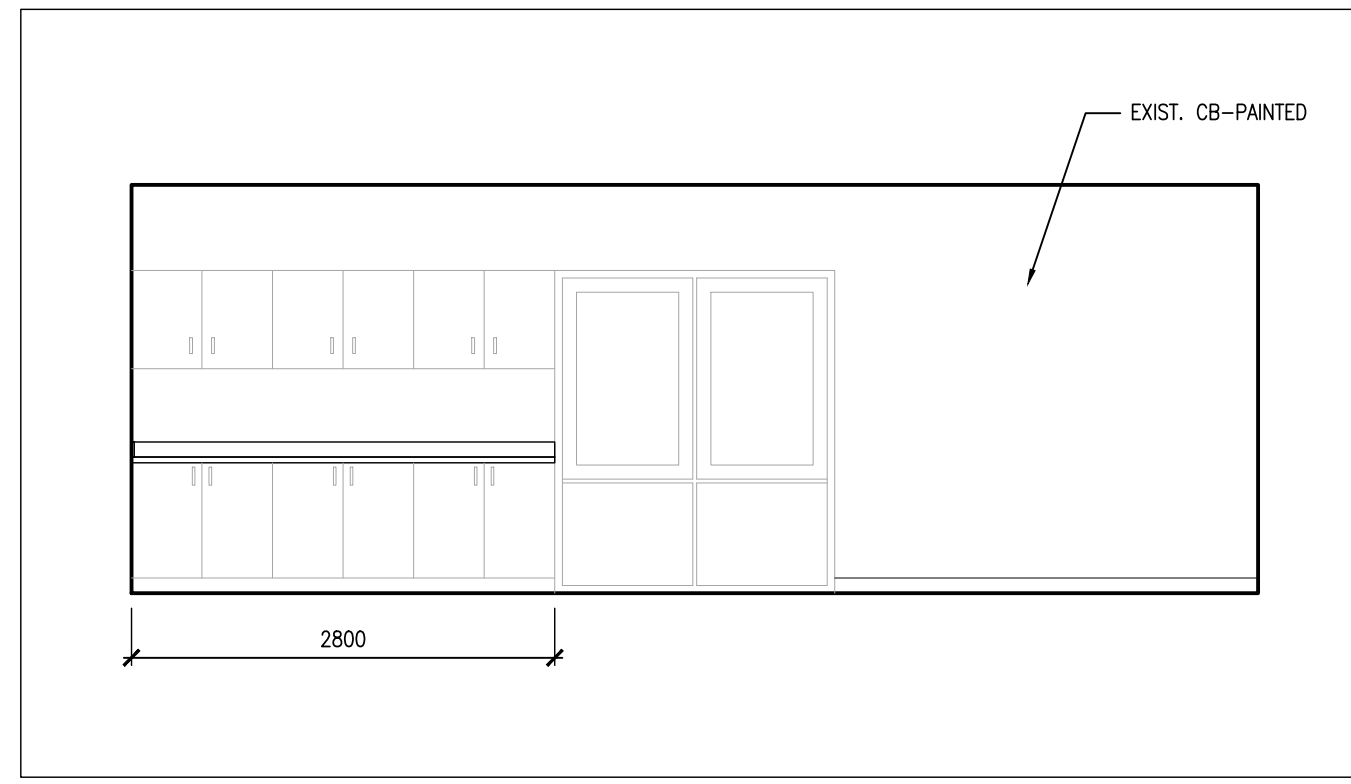
B. PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED. CONDUITS SHALL BE CONCEALED IN FRAMES.

GLAZING LEGEND

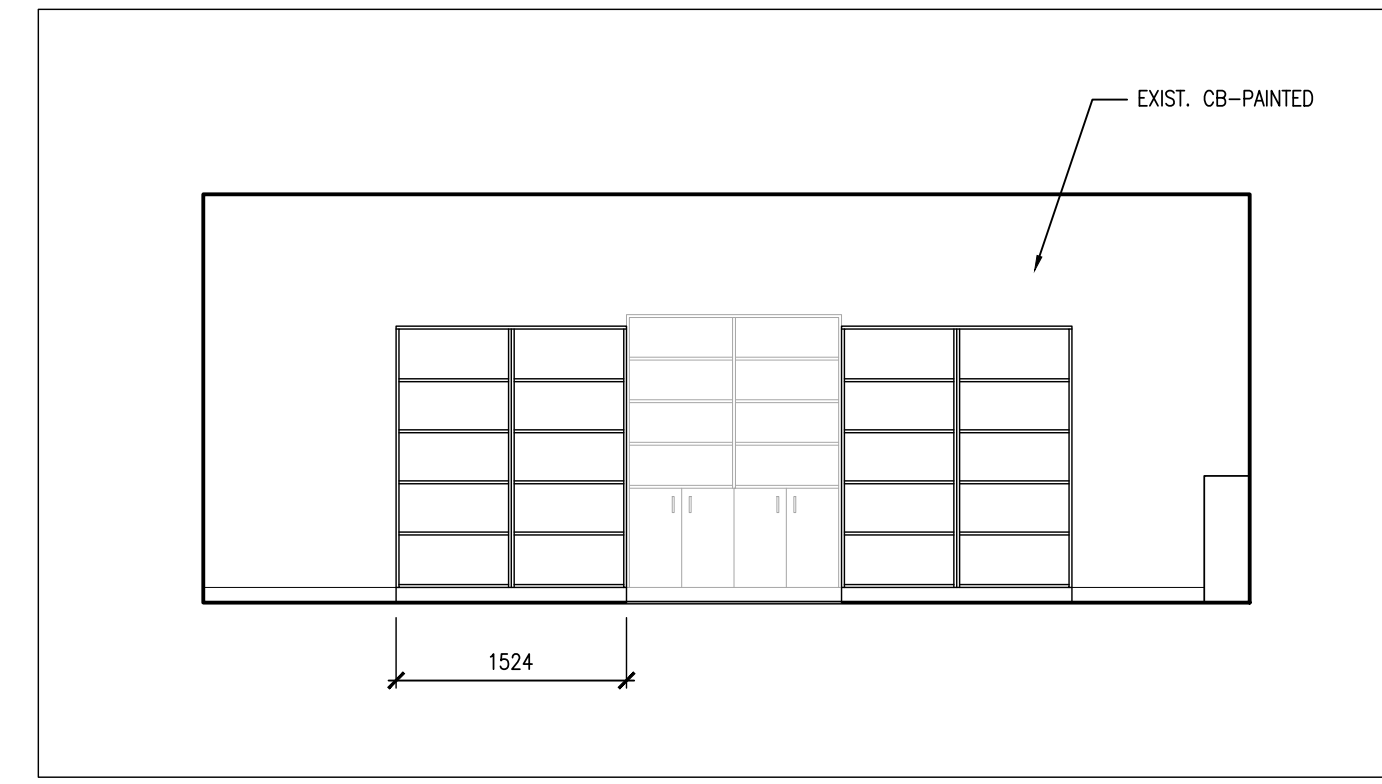
GL1 25 mm SEALED TEMPERED, DOUBLE GLAZED UNITS



5 RM 203
A701 1:50

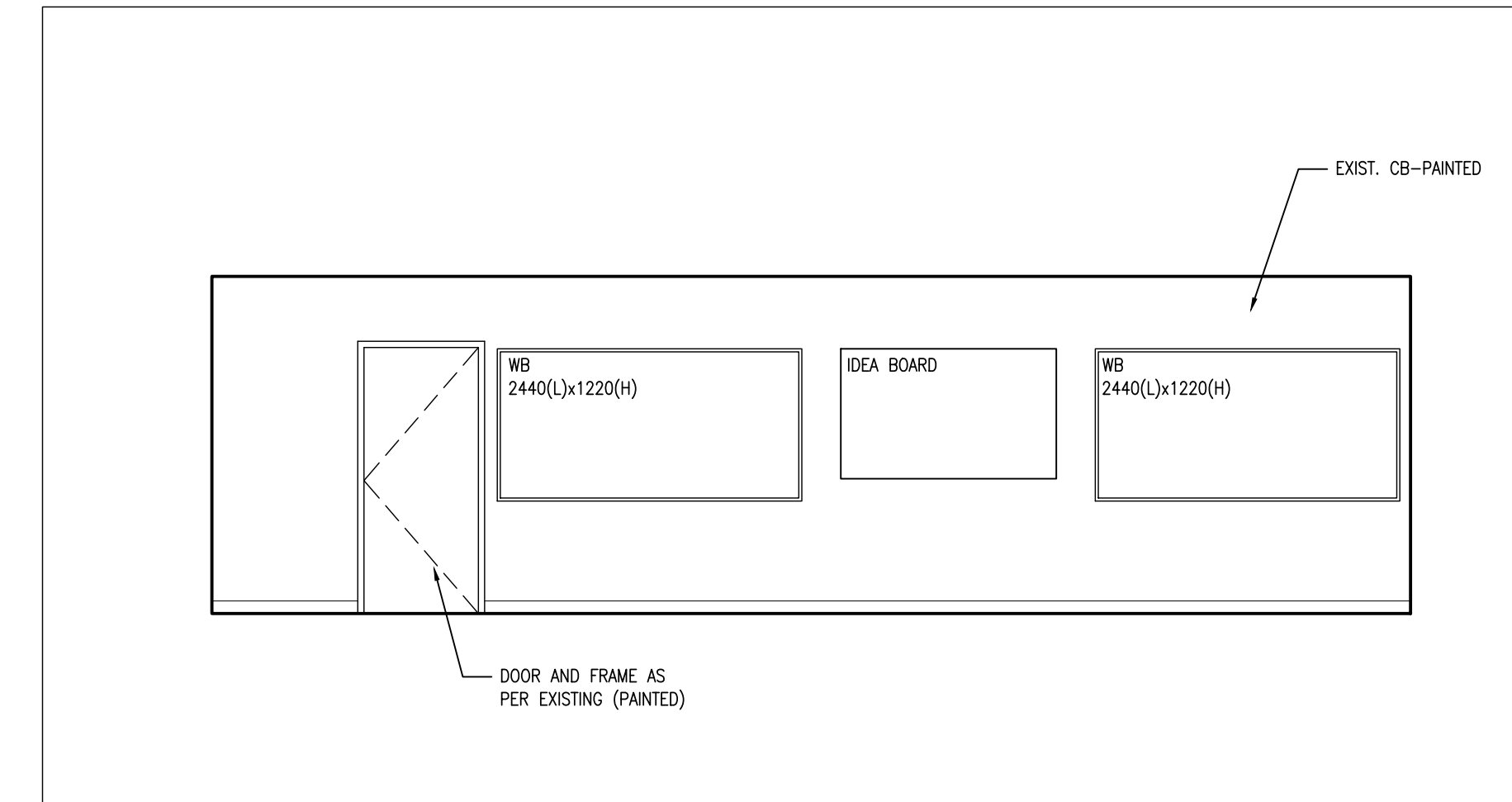


6 RM 210
A701 1:50

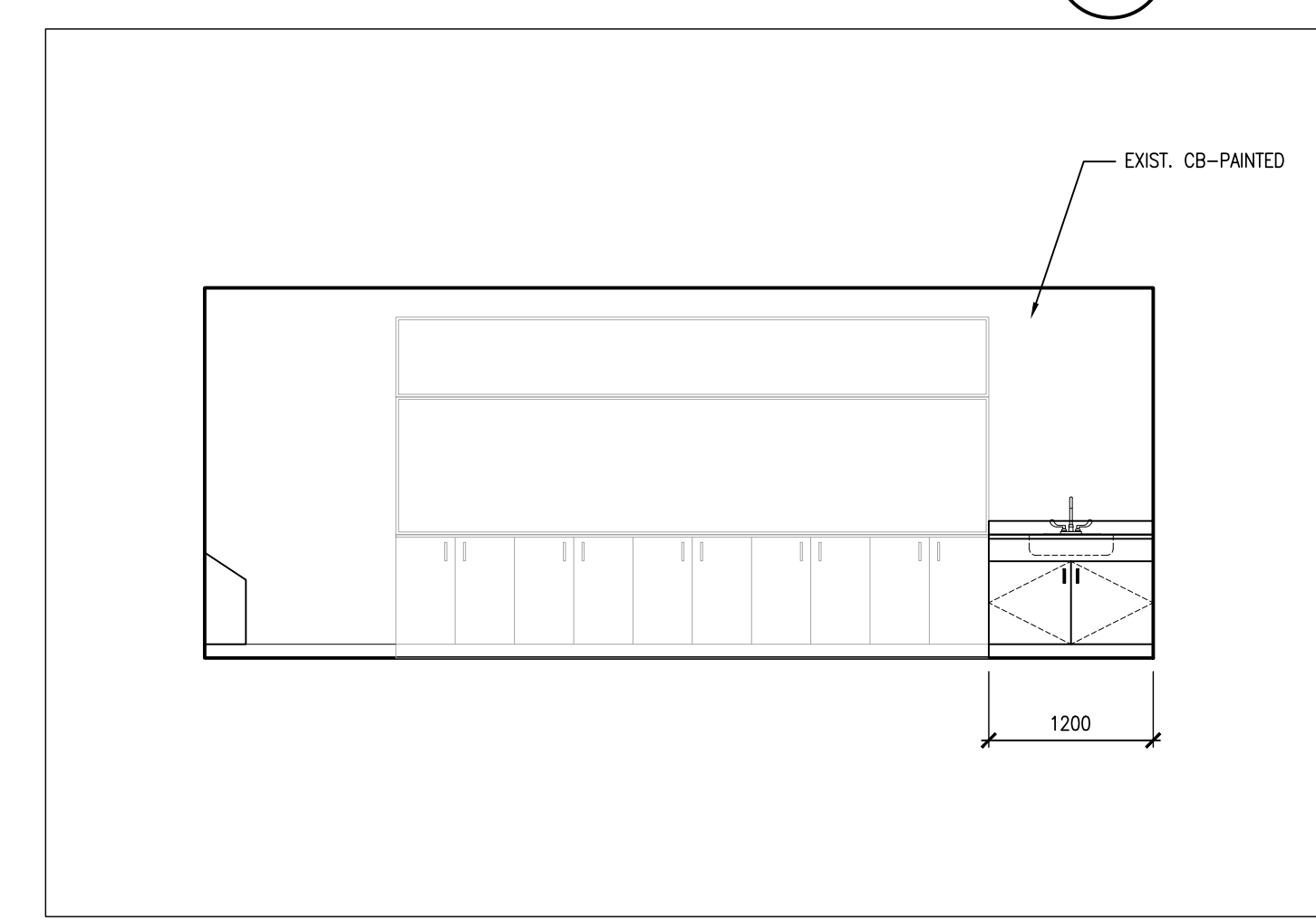


3 RM 202
A701 1:50

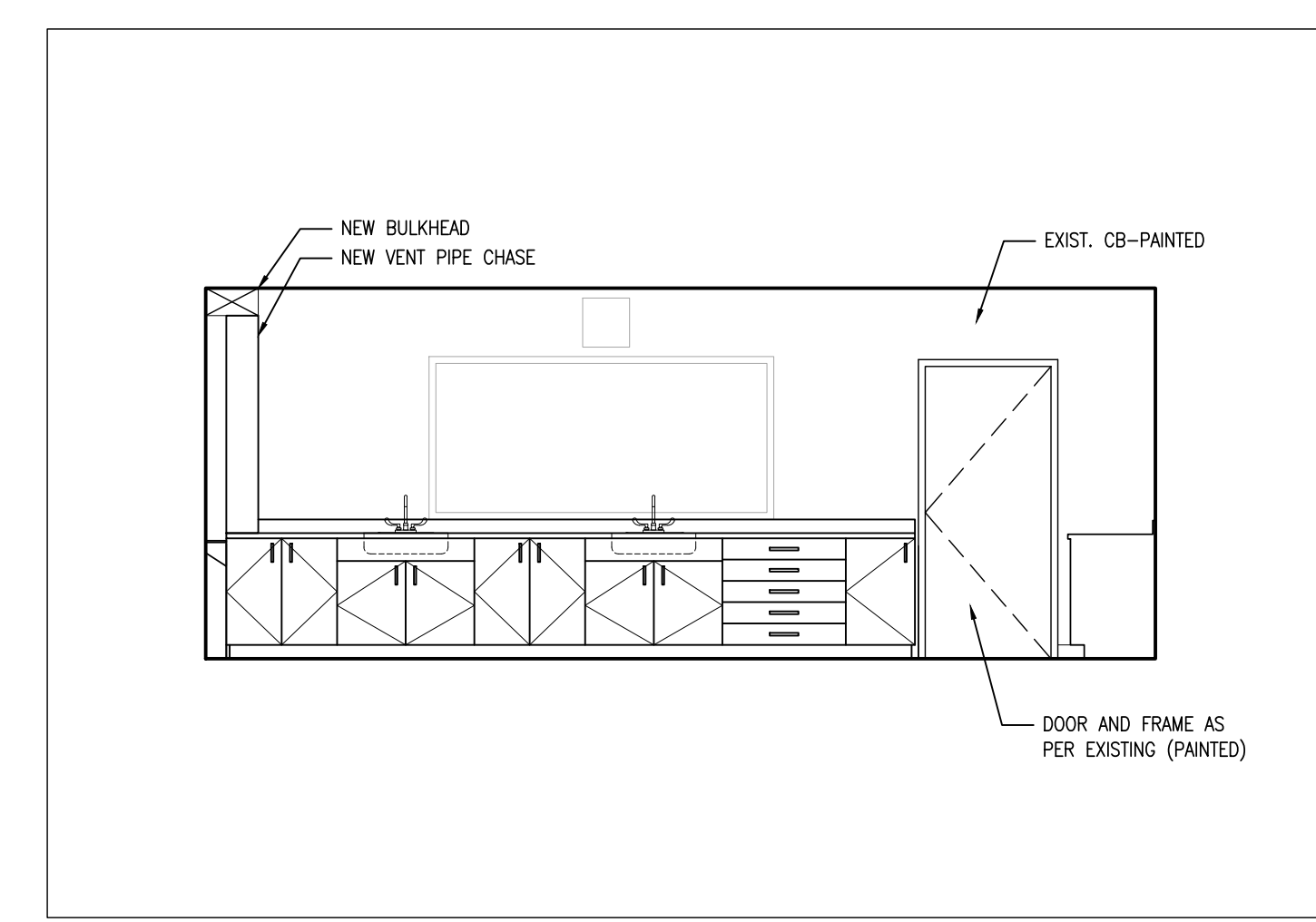
ABBREVIATION LEGEND	
ACP	ACOUSTIC CEILING PANEL
ACT	ACOUSTIC CEILING TILE
ALUM	ALUMINUM
ANOD	ANODIZED
CB	CONCRETE BLOCK
CONC	CONCRETE
CONT	CONTINUE
CT	CERAMIC TILE
EXIST	EXISTING
EXP	EXPOSED
FRG	FIRE RESISTANT GLAZING
GL	GLASS
GB	GYPSUM BOARD
HM	HOLLOW METAL
LVT	LUXURY VINYL TILE
NTS	NOT TO SCALE
PT	PAINT
PL	PLASTIC LAMINATE
PREFIN	PREFINISHED
PS	PRESSED STEEL
RB	RUBBER BASE
RT	RUBBER TILE FLOORING
SC	SEALED CONCRETE
SCW	SOLID CORE WOOD
TG	TEMPERED GLASS
URETH	URETHANE
VCT	VINYL COMPOSITION TILE



2 RM 206
A701 1:50



4 RM 201
A701 1:50



1 RM 102
A701 1:50

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NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	MAR 22 2024	BBA
2	ISSUED FOR TENDER	APRIL 18 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9

KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING:
INTERIOR ELEVATIONS AND SCHEDULES

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Architects
Engineers
Project Managers

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PROJECT NO: **24035** DRAWING NO: **A701**

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PROJECT:
**RENOVATIONS TO
CLARKE HIGHSCHOOL**
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
INTERIOR ELEVATIONS

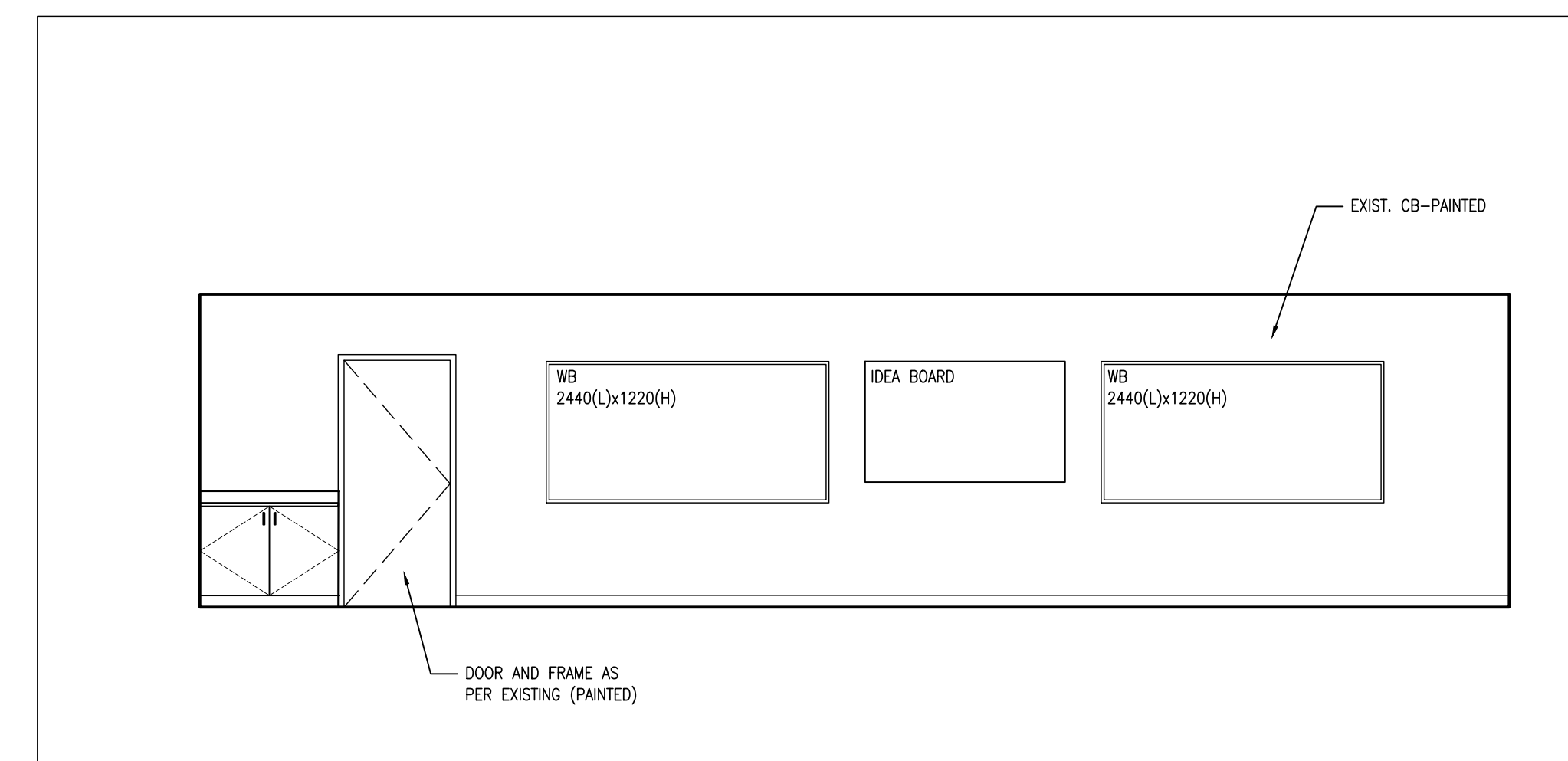


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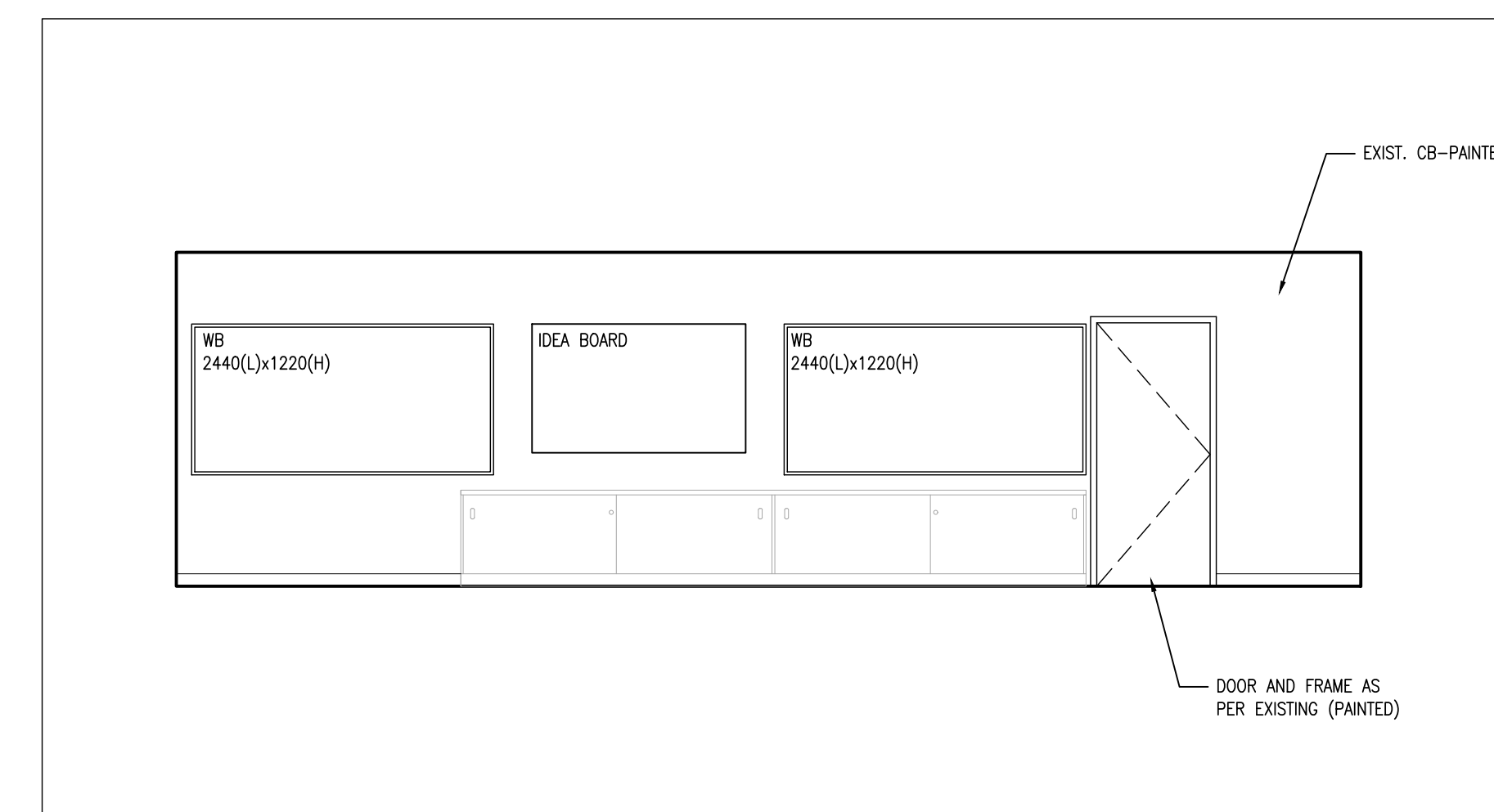
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PROJECT NO:
24035

DRAWING NO:
A702



2
A702 **RM 102**
1:50



1
A702 **RM 200**
1:50

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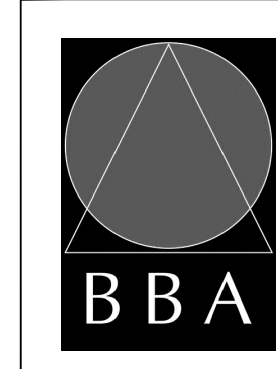


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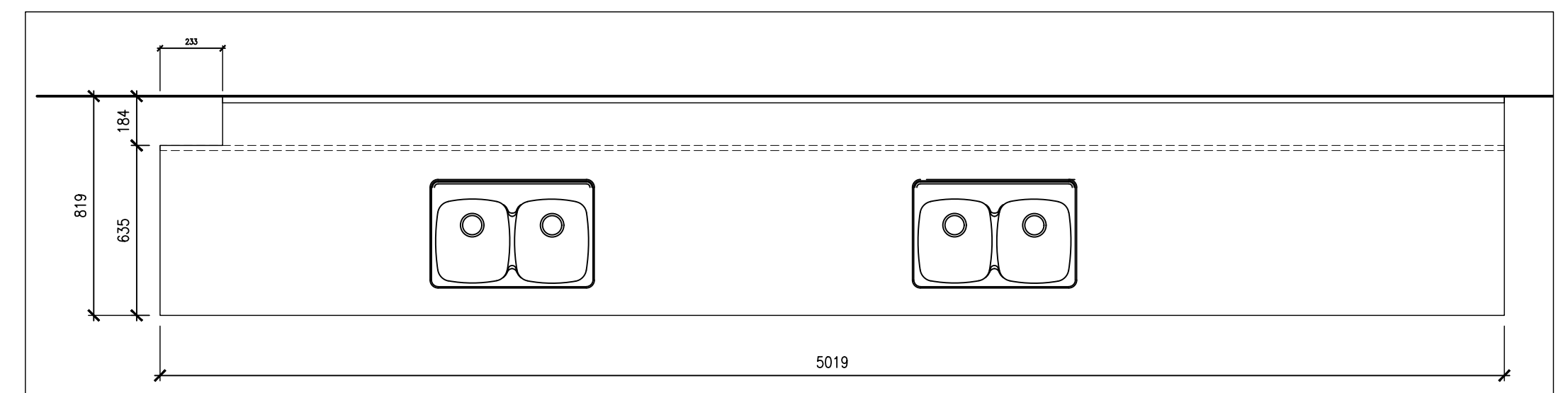
DRAWING:
MILLWORK DETAILS



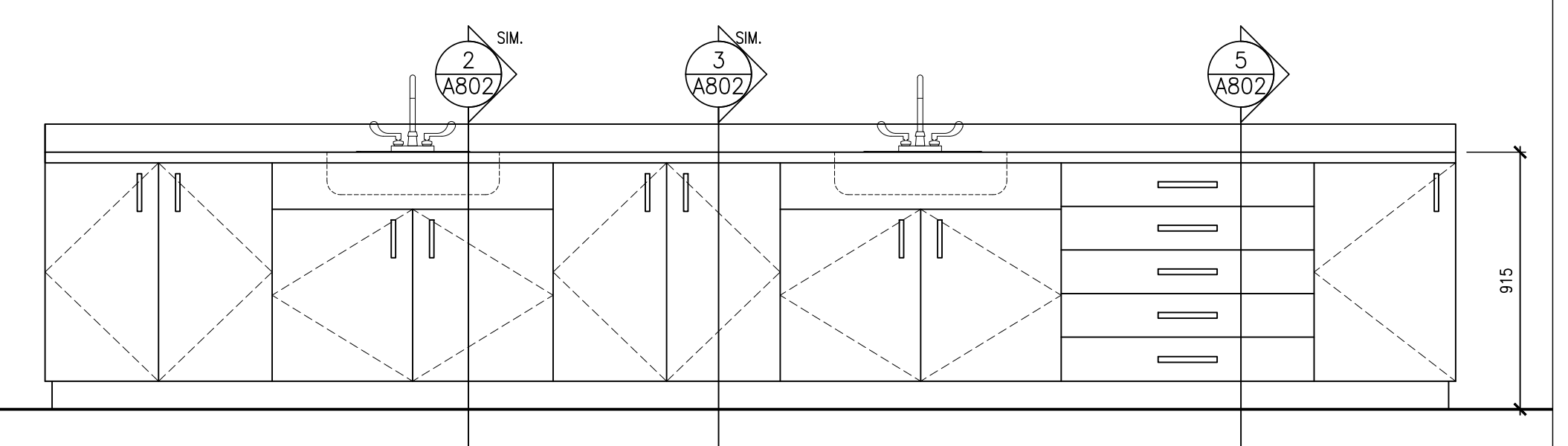
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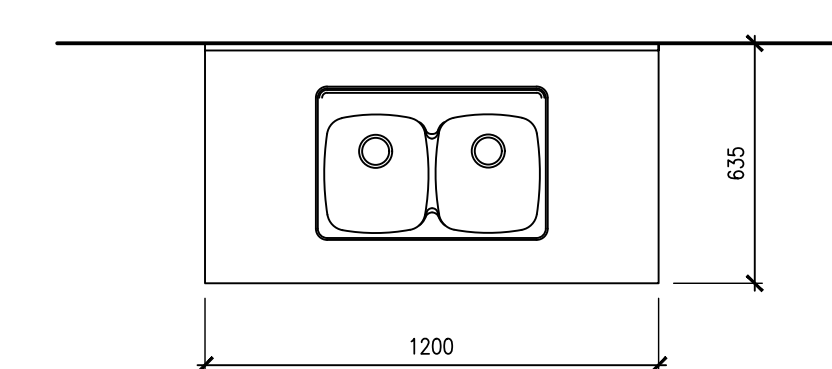
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DRAWING NO: **A801**



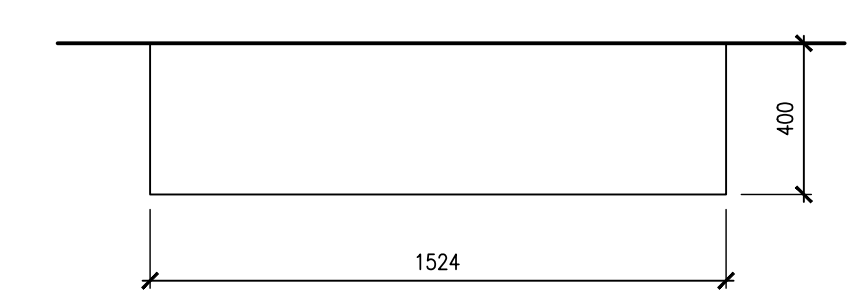
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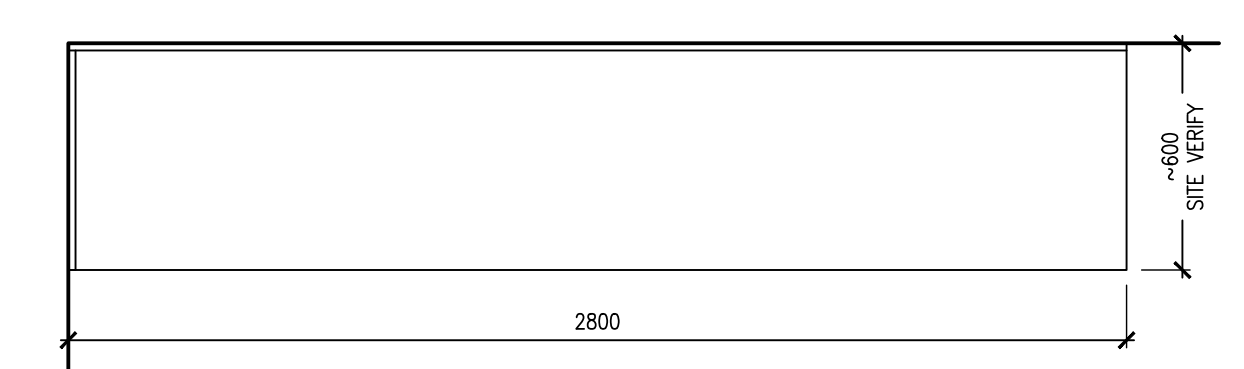
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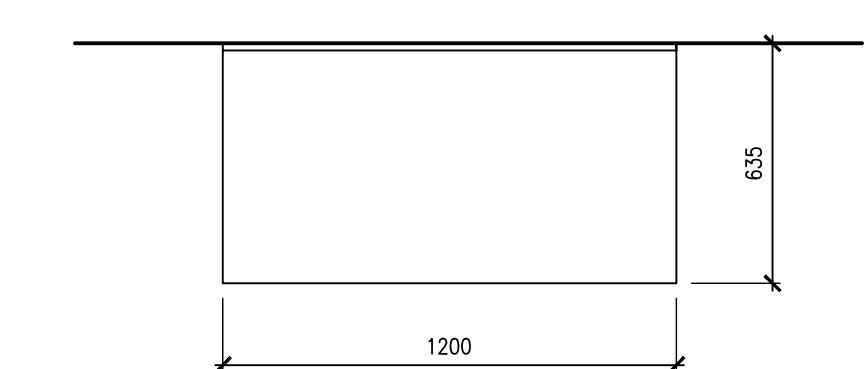
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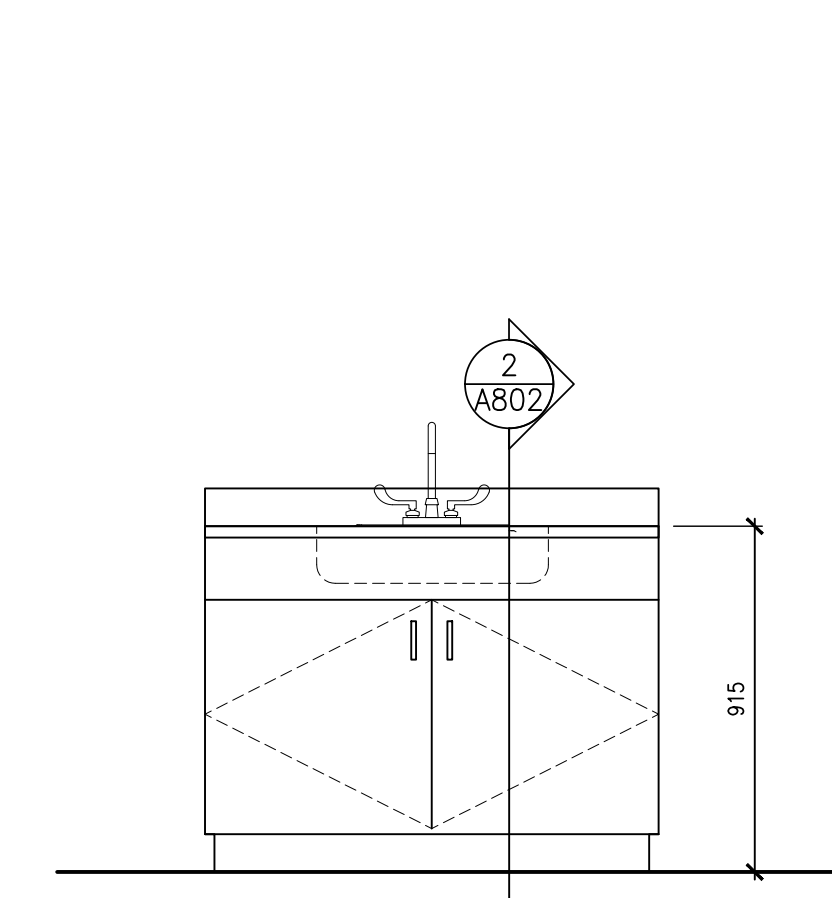
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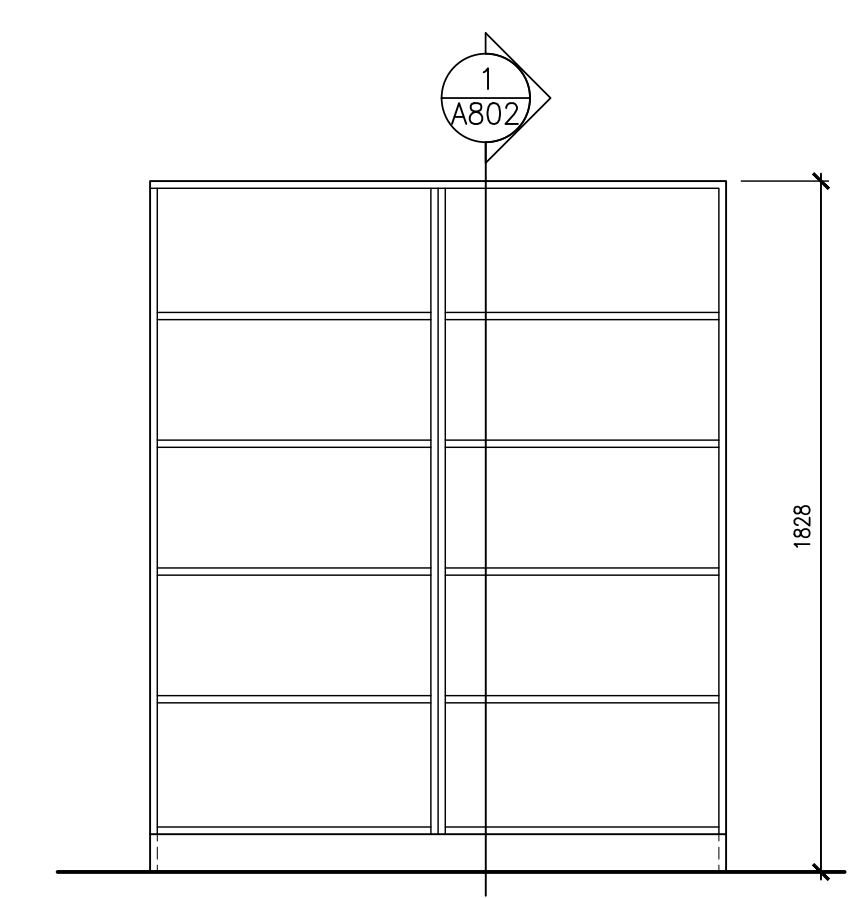
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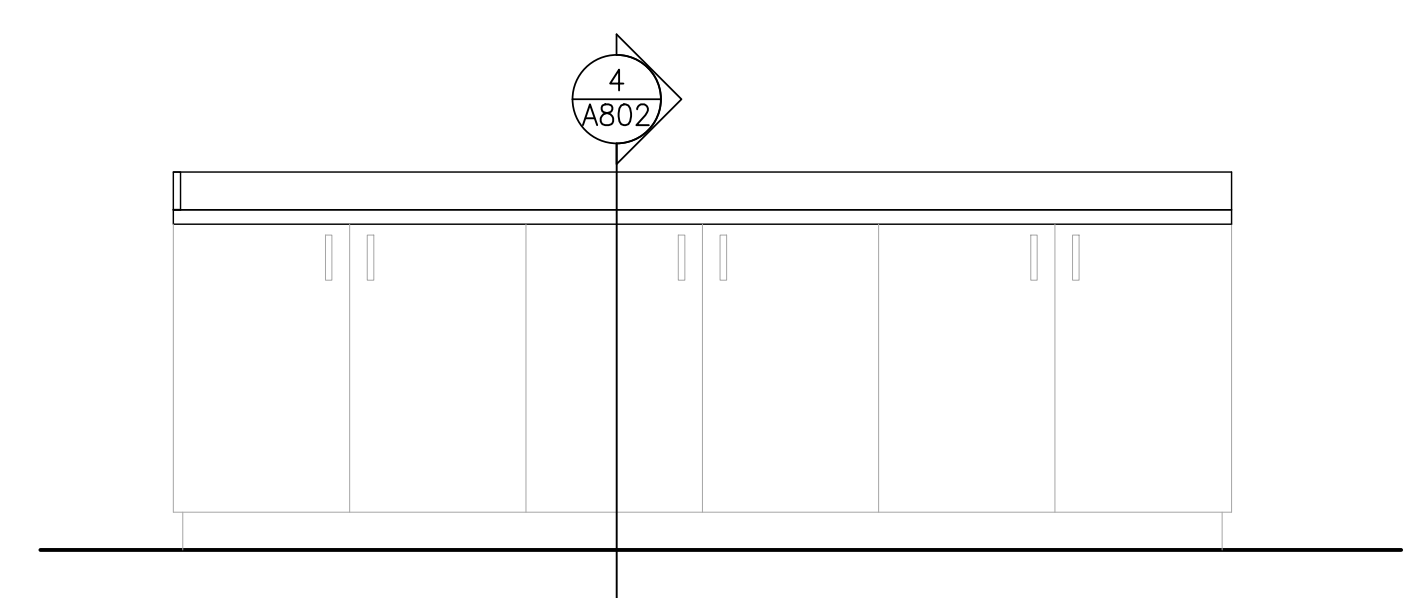
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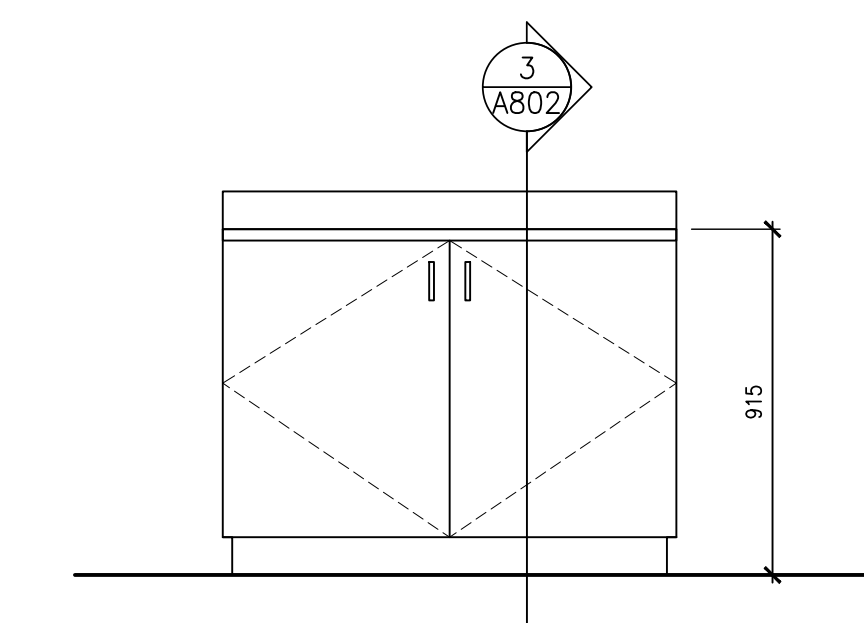
ML-2 ELEVATION



ML-3 ELEVATION



ML-4 ELEVATION



ML-5 ELEVATION

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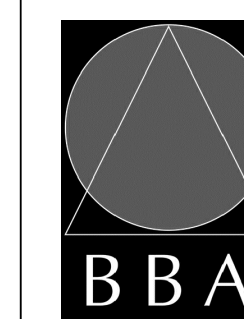
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KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
MILLWORK DETAILS

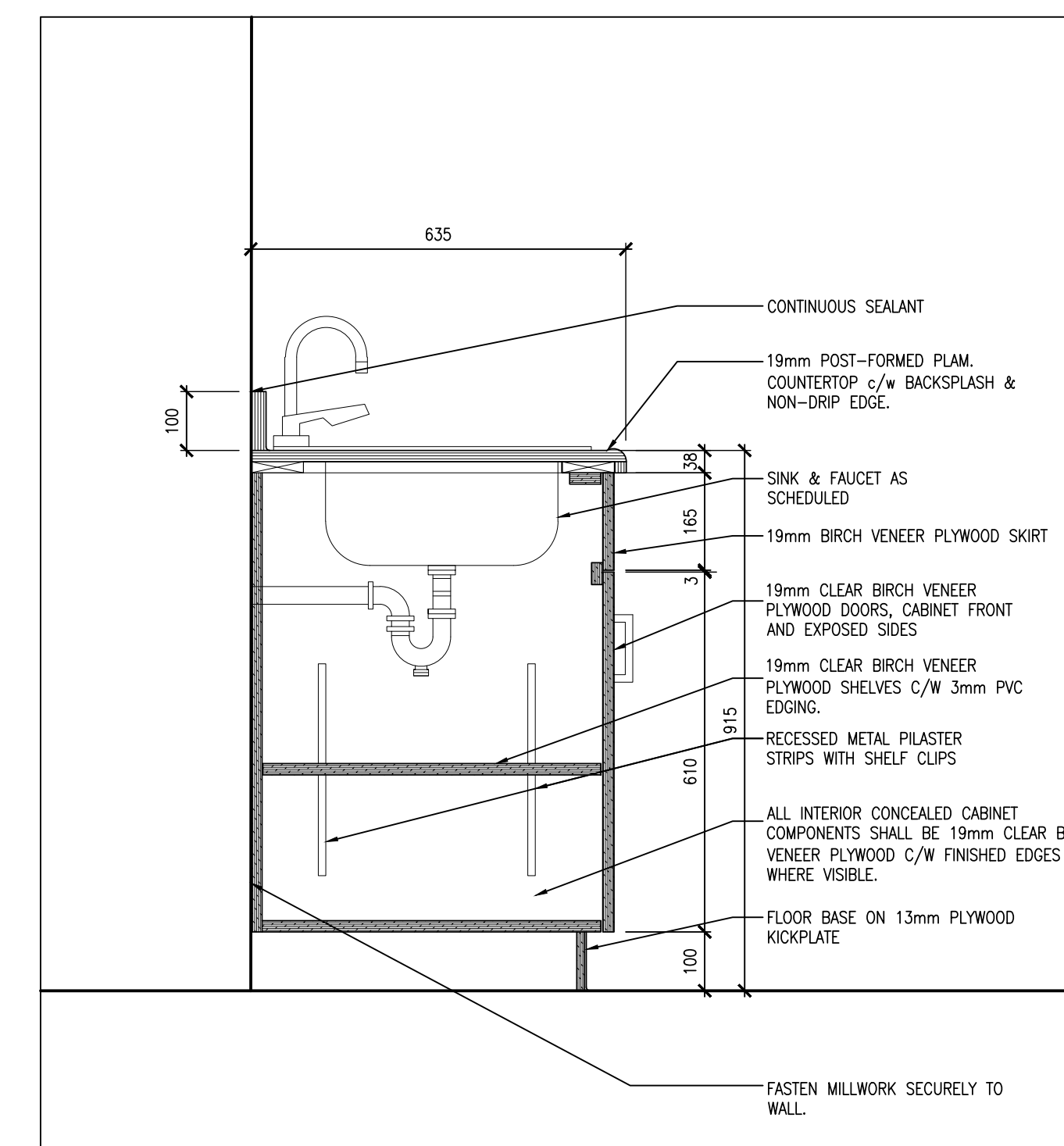


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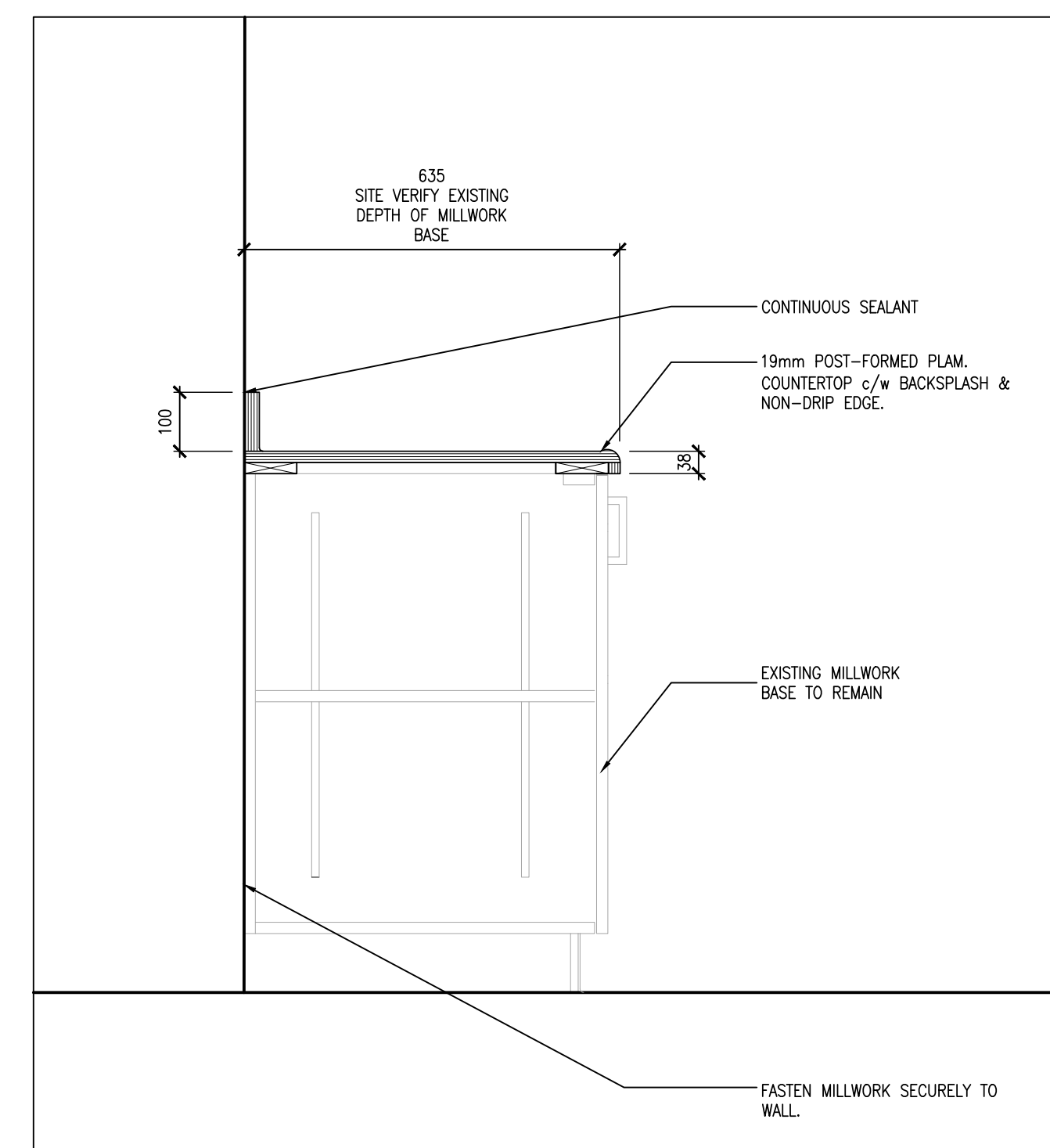
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PROJECT NO:
24035

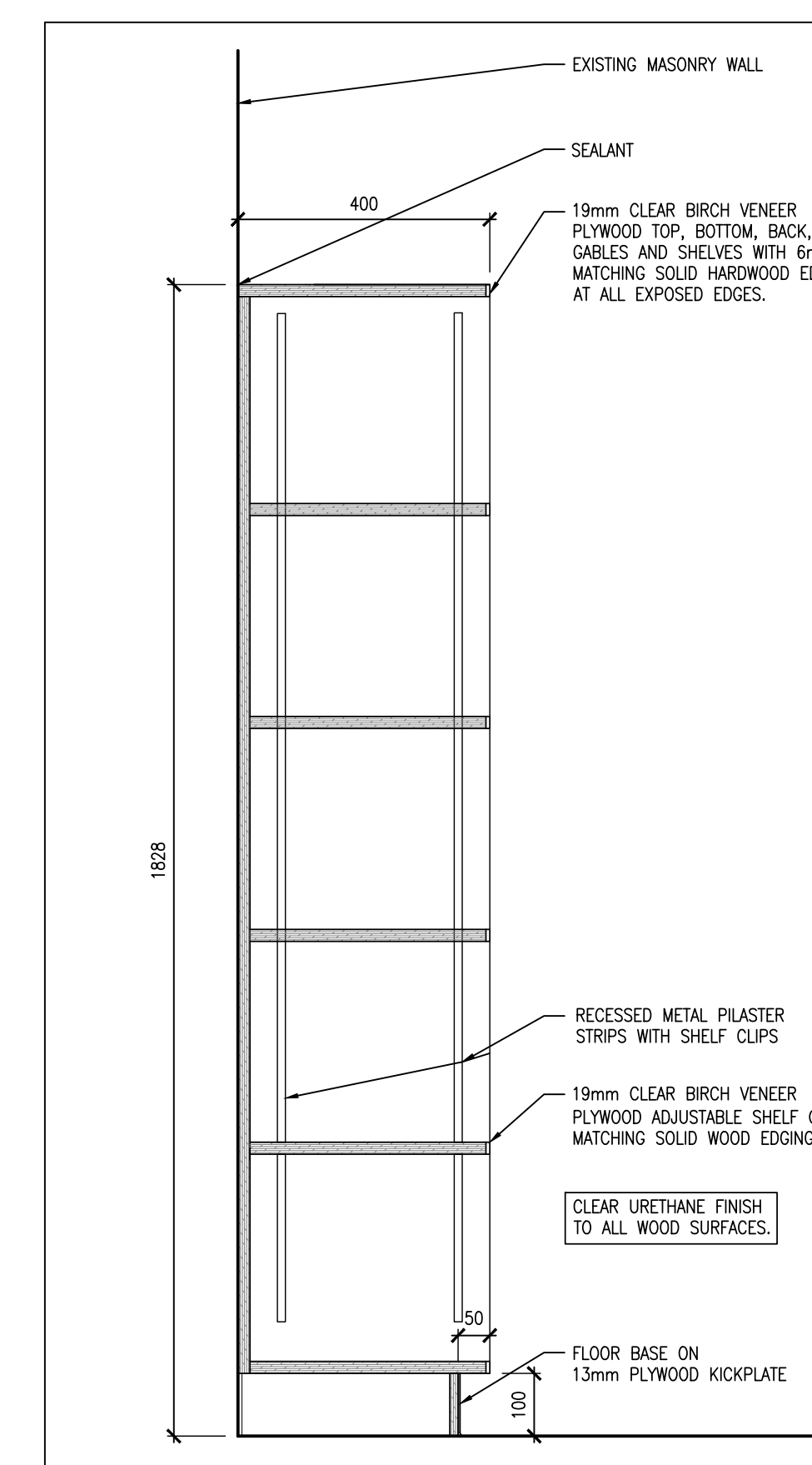
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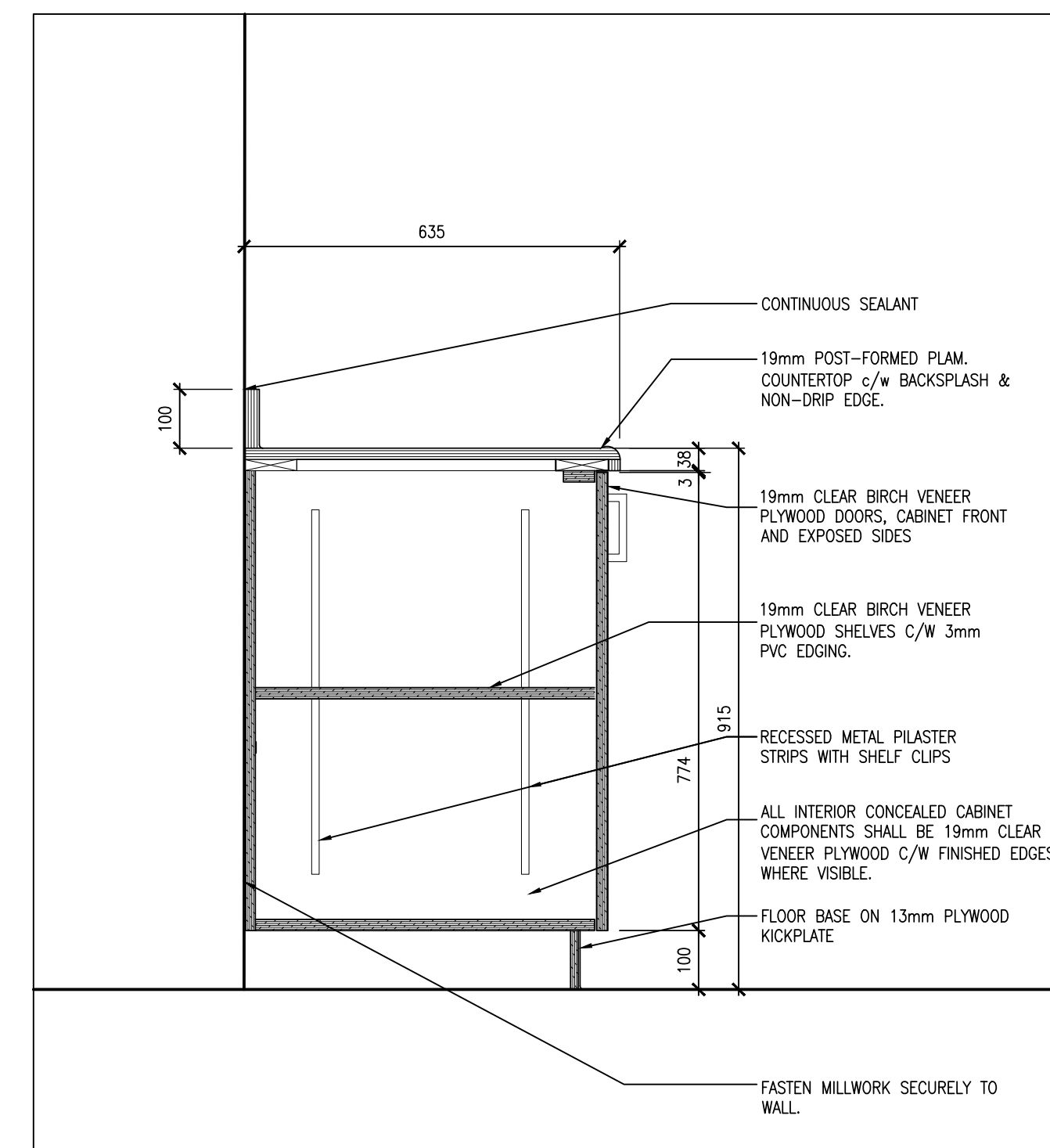
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BASE CABINET W/ SINK SECTION
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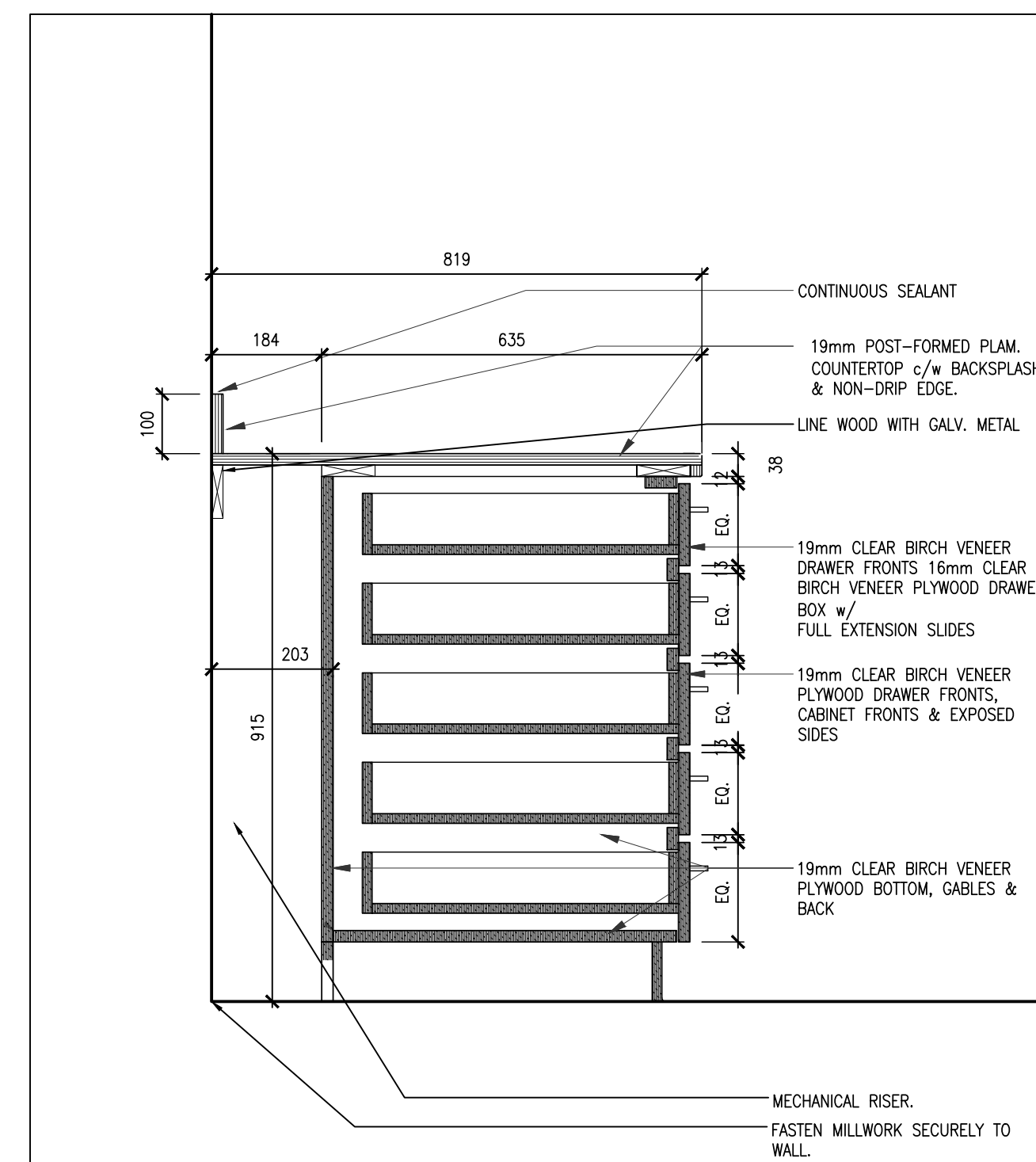
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BASE CABINET SECTION
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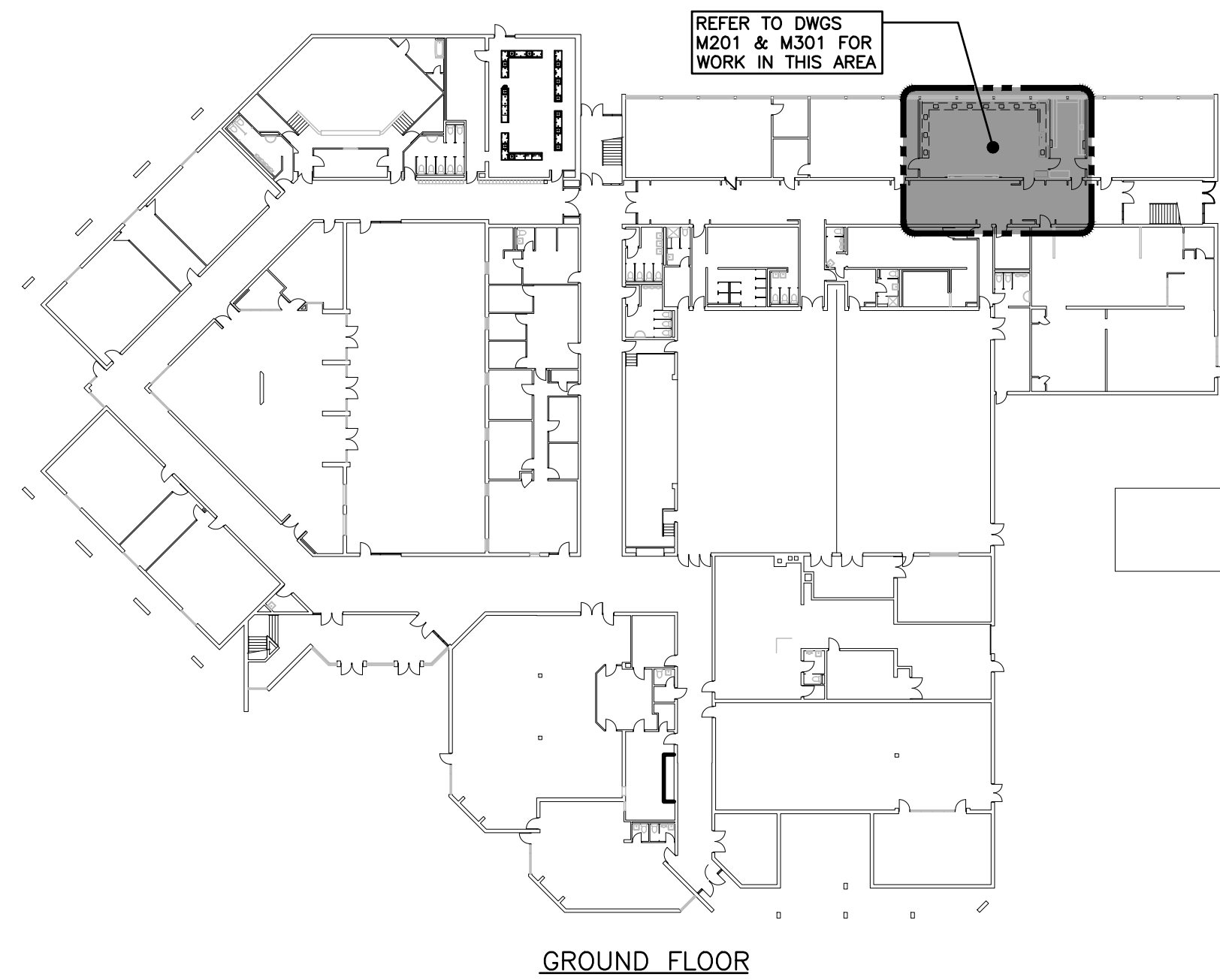
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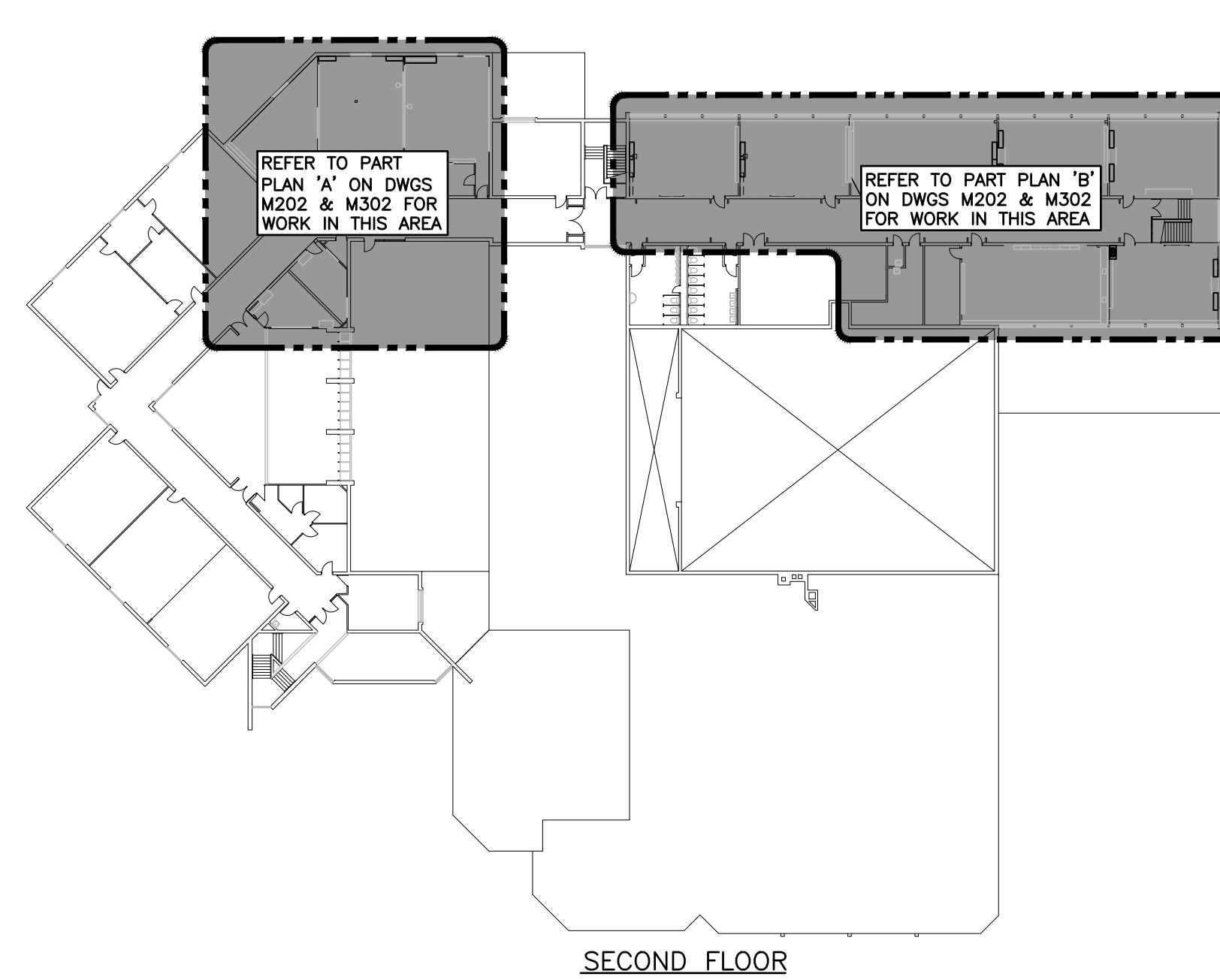
3
A802
BASE CABINET SECTION
1:10



5
A802
SECTION THROUGH DRAWERS
1:10



GROUND FLOOR



SECOND FLOOR

KEY PLAN
SCALE: N.T.S.

GENERAL NOTES

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED SPECIFICATION.
- UPON COMPLETION OF THE PROJECT OR UPON COMPLETION OF EACH INDIVIDUAL PHASE OF THE PROJECT THE CONTRACTORS SHALL PROVIDE THE FOLLOWING CERTIFICATES BEFORE CONFORMANCE LETTERS ARE ISSUED BY THE CONSULTANT:
 - POTABLE WATER TEST (SEE SPEC 22 11 16 PART 3)
- ALL CERTIFICATES ARE TO BE SUBMITTED TOGETHER IN A SINGLE PACKAGE.

MECHANICAL LEGEND

Item	Description	Item	Description	Item	Description
	CUT EXISTING & CONNECT NEW PIPING		FLEXIBLE CONNECTION		TURNING VANES
	FLOW DIRECTION		REDUCER/INCREASER		SUPPLY AIR DUCT
	DOMESTIC COLD WATER PIPING		CHECK VALVE		RETURN/EXHAUST AIR DUCT
	DOMESTIC HOT WATER PIPING		BACKFLOW PREVENTOR		ACOUSTIC DUCT LINING
	DOMESTIC HOT WATER RECIRC. PIPING		REDUCED PRESSURE BACKFLOW PREVENTOR		BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER
	DOMESTIC TEMPERED WATER PIPING		UNION		TRUNK MAIN BRANCH COLLAR C/W BALANCING DAMPER
	EXISTING SANITARY PIPING ABOVE FLOOR		STRAINER		BALANCING DAMPER
	EXISTING SANITARY PIPING BELOW FLOOR		DRAIN (SCHEMATICS)		OPPOSED BLADE DAMPER
	SANITARY PIPING ABOVE FLOOR		VACUUM BREAKER		MOTORIZED DAMPER (OPPOSED BLADE)
	SANITARY PIPING BELOW FLOOR		SCREWED OR WELDED PIPE CAP		FIRE DAMPER
	EXISTING STORM PIPING ABOVE FLOOR		PLUG VALVE		COMBINATION FIRE/SMOKE DAMPER
	EXISTING STORM PIPING BELOW FLOOR		BALL VALVE		SMOKE DAMPER
	STORM PIPING ABOVE FLOOR		BUTTERFLY VALVE		FIRE FLAP
	STORM PIPING BELOW FLOOR		AIR VENT		FLEXIBLE ROUND DUCT
	CONDENSATE PIPING		RISER VALVE		RIGID ROUND DUCT
	VENT PIPING		BALANCING VALVE		DIFFUSER/GRILLE SIZE (imp), TYPE & CAPACITY (cfm)
	HEATING WATER SUPPLY PIPING		TEMPERATURE CONTROL VALVE		HYDRONIC HEATING SIZE, TYPE & CAPACITY
	HEATING WATER RETURN PIPING		FLOOR CLEANOUT		ACCESS DOOR
	NATURAL GAS PIPING		LINE CLEANOUT		EXPANSION COMPENSATOR/JOINT
	FLOOR DRAIN		PRESSURE REDUCING VALVE		RETURN IN CABINET
	TRAP PRIMER		THERMOSTAT (WITH OR WITHOUT GUARD)		CONNECT TO EXISTING
	TEE CONNECTION		ABOVE FINISHED FLOOR		EXISTING DUCT (SIZE AS INDICATED)
	PIPE DOWN		ABOVE FINISHED ROOF		
	PIPE UP				

GRILLE SCHEDULE

Item	Type	Manufacturer & Model	Finish	Remarks
S1	LINEAR BAR GRILLE	KRUEGER 1850	BRITISH WHITE	FIXED 0.7mm (1/4") SPACING, MILLWORK MOUNTED, SCREWED NARROW BORDER FASTENING WITH MITRED CORNERS. PROVIDE CONTINUOUS GRILLE WHERE NOTED
R1	TOE SPACE GRILLE	KRUEGER 1350	BRITISH WHITE	PAINTED PUNCH STEEL 1"x1" SPACING WITH 1/2"x1/2" HOLE

PLUMBING FIXTURE SCHEDULE

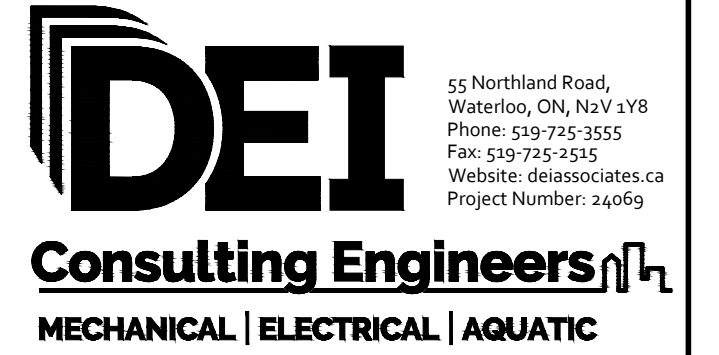
Item	Type	Connection Sizes					Acceptable Manufacturer	Fixture Description	Acceptable Manufacturer	Trim Description	Acceptable Manufacturer	Accessories Description
		HW	CW	TW	Drain	Vent						
S-1	STAINLESS STEEL DOUBLE SINK	15	15	40	32	KINDRED LBD6410/316PCB-1 NOVANNI	SINK: DOUBLE COMPARTMENT, LEDGE-BACK. FROM 1.2 mm (18 GAUGE) THICK TYPE 316 POLISHED STAINLESS STEEL, SELF-RIMMING, UNDERCOATED, CLAMPS. OVERALL SIZES: 520 mm x 790 mm x 250 mm (21" x 31" x 10").	DELTA 26C3952-R7 ZURN MOEN COMMERCIAL	FAUCET: CHROME PLATED BRASS, GOOSENECK SWING SPOUT, AERATOR, INDEXED HOODED LEVER HANDLES, ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 8.35 l/min (2.2 gpm) AT 413 kPa (60 ps).	INTERCEPTOR: ZURN Z1180 WATTS SI-770	WASTE FITTING: INTEGRAL STAINLESS STEEL BASKET STRAINER/STOPPER, TAILPIECE, CAST BRASS P-TRAP WITH CLEANOUT. INTERCEPTOR: PROVIDE UNDER COUNTER SOLIDS INTERCEPTOR WITH REMOVABLE PRIMARY/SECONDARY DIFFUSING/INTERCEPTING SCREENS, SEDIMENT BUCKET, AND TOP ACCESS GASKETED COVER.	
S-2	STAINLESS STEEL CLASSROOM SINGLE SINK	15	15	40	32	KINDRED LBD6410/316PCB-1 NOVANNI	SINK: DOUBLE COMPARTMENT, LEDGE-BACK. FROM 1.2 mm (18 GAUGE) THICK TYPE 316 POLISHED STAINLESS STEEL, SELF-RIMMING, UNDERCOATED, CLAMPS. OVERALL SIZES: 520 mm x 790 mm x 250 mm (21" x 31" x 10").	DELTA 26C3952-R7 ZURN MOEN COMMERCIAL	FAUCET: CHROME PLATED BRASS, GOOSENECK SWING SPOUT, AERATOR, INDEXED HOODED LEVER HANDLES, ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 8.35 l/min (2.2 gpm) AT 413 kPa (60 ps).	INTERCEPTOR: ZURN Z1180 WATTS SI-770	WASTE FITTING: INTEGRAL STAINLESS STEEL BASKET STRAINER/STOPPER, TAILPIECE, CAST BRASS P-TRAP WITH CLEANOUT.	

HYDRONIC HEATING COMPONENT SCHEDULE

Item	Type	Acceptable Manufacturer	Description
H1	RADIATION	ENG-A WF-1A (CABINET ONLY)	WALL HUNG, 16ga STEEL CABINET WITH ALL MOUNTING HARDWARE, CORNERS, LAP PIECES, END CAPS ETC. PROVIDE STAMPED GRILLE ON SLOPED TOP, OPEN BOTTOM, 24" HIGH CABINET. MTD 6"-8" AFF.

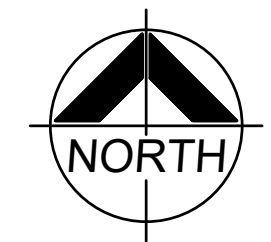
- GENERAL HEATING COMPONENT NOTES:
- ACCEPTABLE MANUFACTURERS: ENGINEERED AIR, SIGMA, RITTLING, SLANT-FIN, ROSEMEX, DUNHAM-BUSH
 - TEMPERATURE RATINGS: EWT-150F, LWT-130F, EAT-88F
 - SIZES & HEAT CAPACITIES ARE NOTED ON THE FLOOR PLANS
 - RAD, CONVECTOR, & CABINET HEATER CABINET FINISHES ARE TO BE FACTORY PRIME COATED SELECTED FROM STANDARD MANUFACTURER'S COLOURS UNLESS OTHERWISE NOTED.
 - UNIT HEATERS FINISH ARE FACTORY APPLIED BAKED ON ENAMEL SELECTED FROM STANDARD MANUFACTURER'S COLOURS.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
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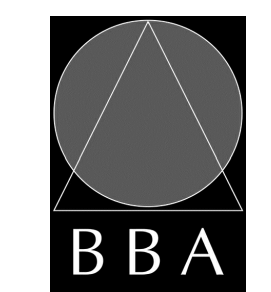
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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
KEY PLAN, LEGEND & SCHEDULES



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DATE: MARCH 2024
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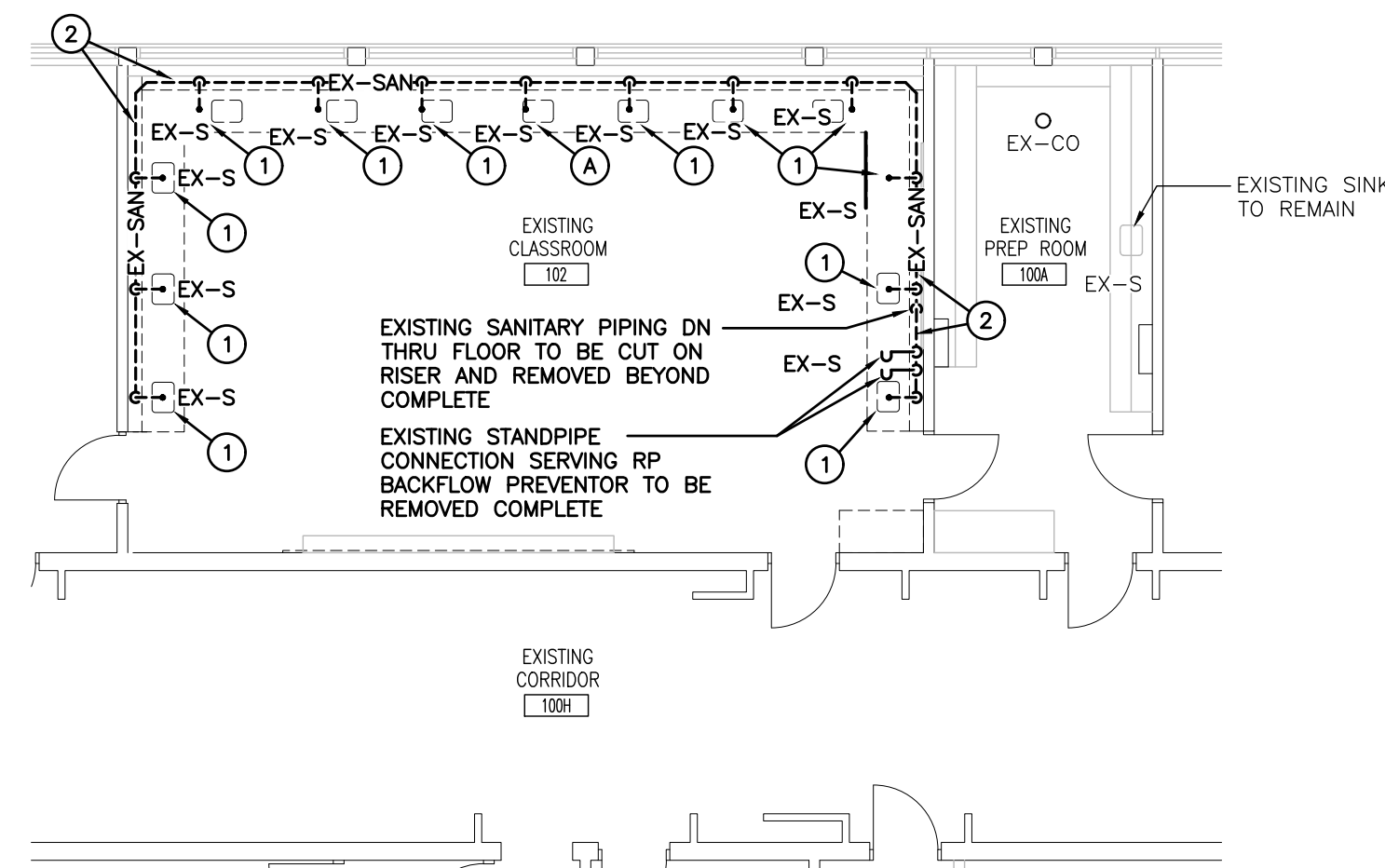
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DRAWING NO: **M101**

GENERAL DEMOLITION NOTES

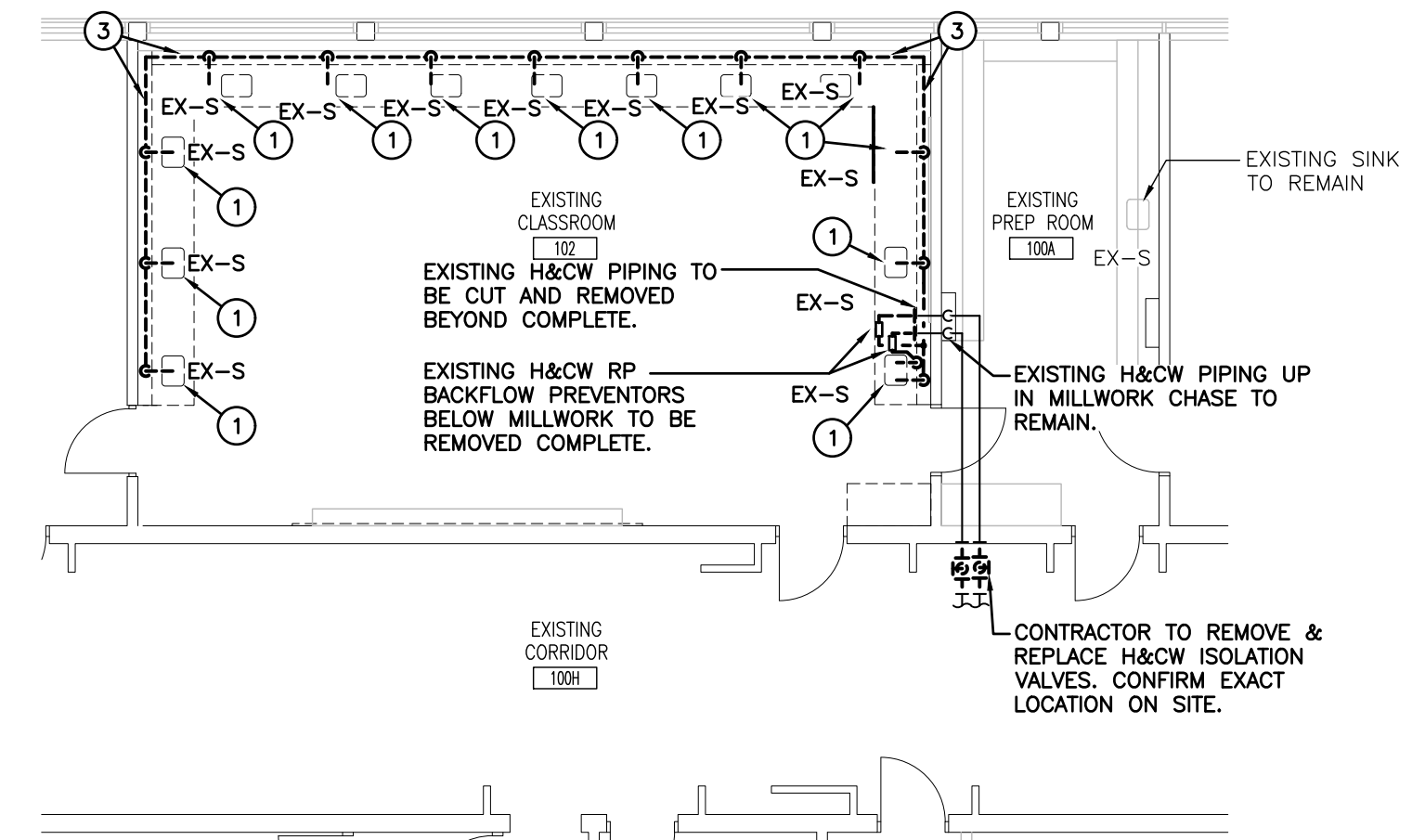
- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- THIS CONTRACTOR IS TO REMOVE & REPLACE CEILING AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.
- CONTRACTOR TO CARRY IN THEIR PRICING TO DRAIN SYSTEM OR FREEZE PIPING TO COMPLETE WORK

NOTE:
CONTRACTOR TO ALLOW FOR DRAINING AND DISPOSING ENTIRE SCHOOL DOMESTIC/ HEATING SYSTEM (OR PIPE FREEZING AS REQUIRED) TO SUIT RENOVATION WORK

REFER TO HAZARDOUS MATERIALS REPORT/SPECIFICATIONS FOR ABATEMENT SCOPE OF WORK. CO-ORDINATE ALL DEMOLITION/RENOVATION WORK WITH ABATEMENT CONSULTANT.



GROUND FLOOR PART PLAN – DEMOLITION – DRAINAGE
SCALE: 1:100

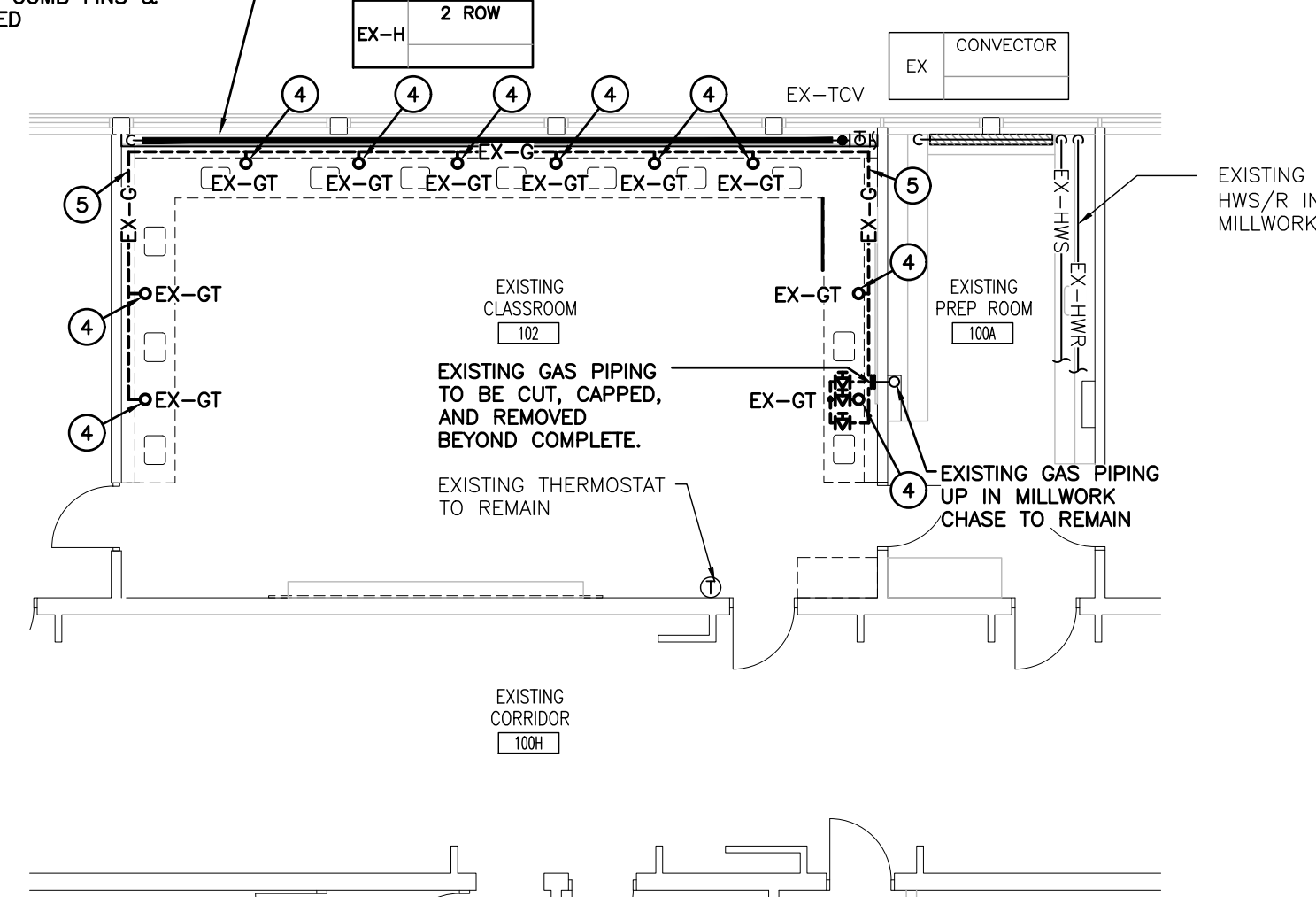


GROUND FLOOR PART PLAN – DEMOLITION – PIPING
SCALE: 1:100

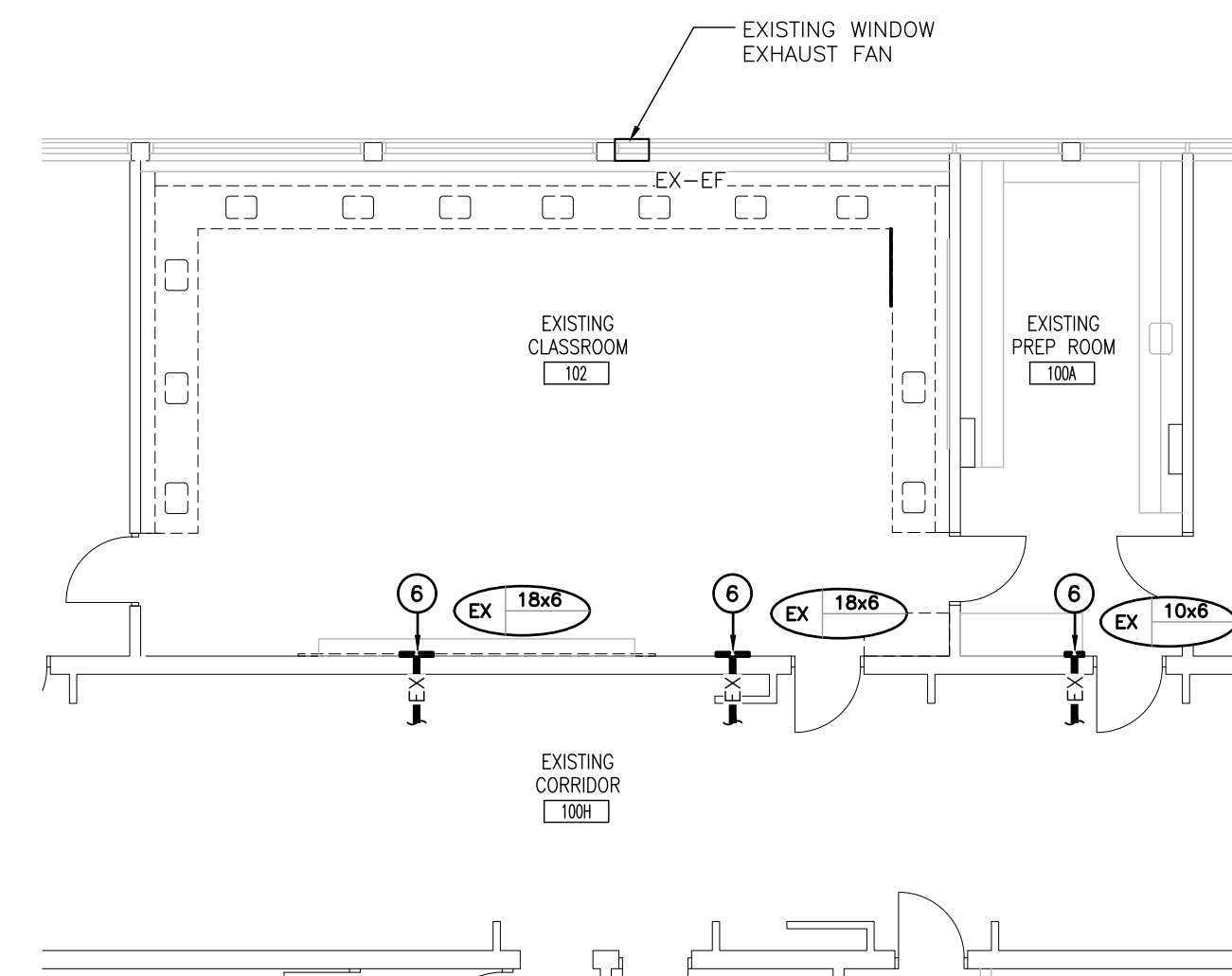
SPECIFIC DEMOLITION NOTES

- EXISTING PLUMBING FIXTURE TO BE REMOVED COMPLETE. EXISTING PLUMBING AND SANITARY CONNECTIONS TO BE REMOVED COMPLETE.
- EXISTING SANITARY PIPING IN MILLWORK CHASE TO BE REMOVED COMPLETE.
- EXISTING CW PIPING IN MILLWORK CHASE TO BE REMOVED COMPLETE.
- EXISTING GAS TURRET TO BE REMOVED COMPLETE. EXISTING GAS PIPING SERVING GAS TURRET TO BE REMOVED COMPLETE.
- EXISTING GAS PIPING IN MILLWORK CHASE TO BE REMOVED COMPLETE.
- EXISTING GRILLE TO BE TEMPORARILY REMOVED, CLEANED, AND REINSTALLED.

EXISTING WALL FIN BEHIND MILLWORK TO REMAIN. THIS CONTRACTOR SHALL THOROUGHLY CLEAN & COMB FINIS & REFURBISH AS SPECIFIED



GROUND FLOOR PART PLAN – DEMOLITION – HEATING
SCALE: 1:100



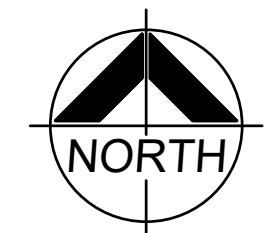
GROUND FLOOR PART PLAN – DEMOLITION – VENTILATION
SCALE: 1:100

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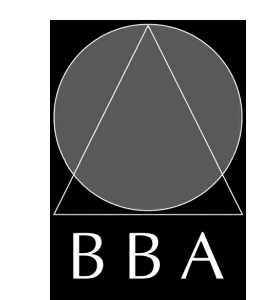
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RENOVATIONS TO CLARKE HIGHSCHOOL
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NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
GROUND FLOOR PART PLANS - DEMOLITION



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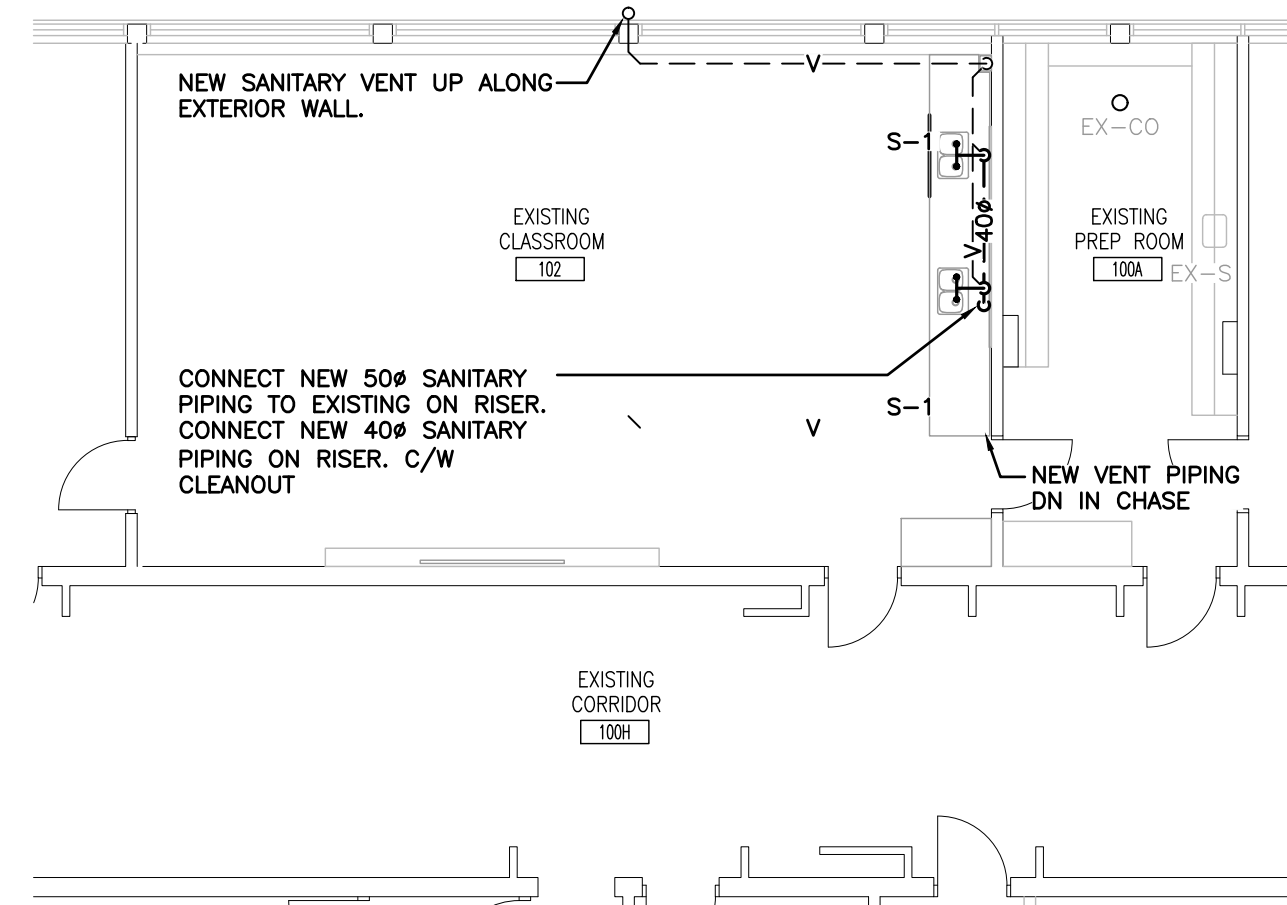
PROJECT NO: **24035** DRAWING NO: **M201**

GENERAL RENOVATION NOTES

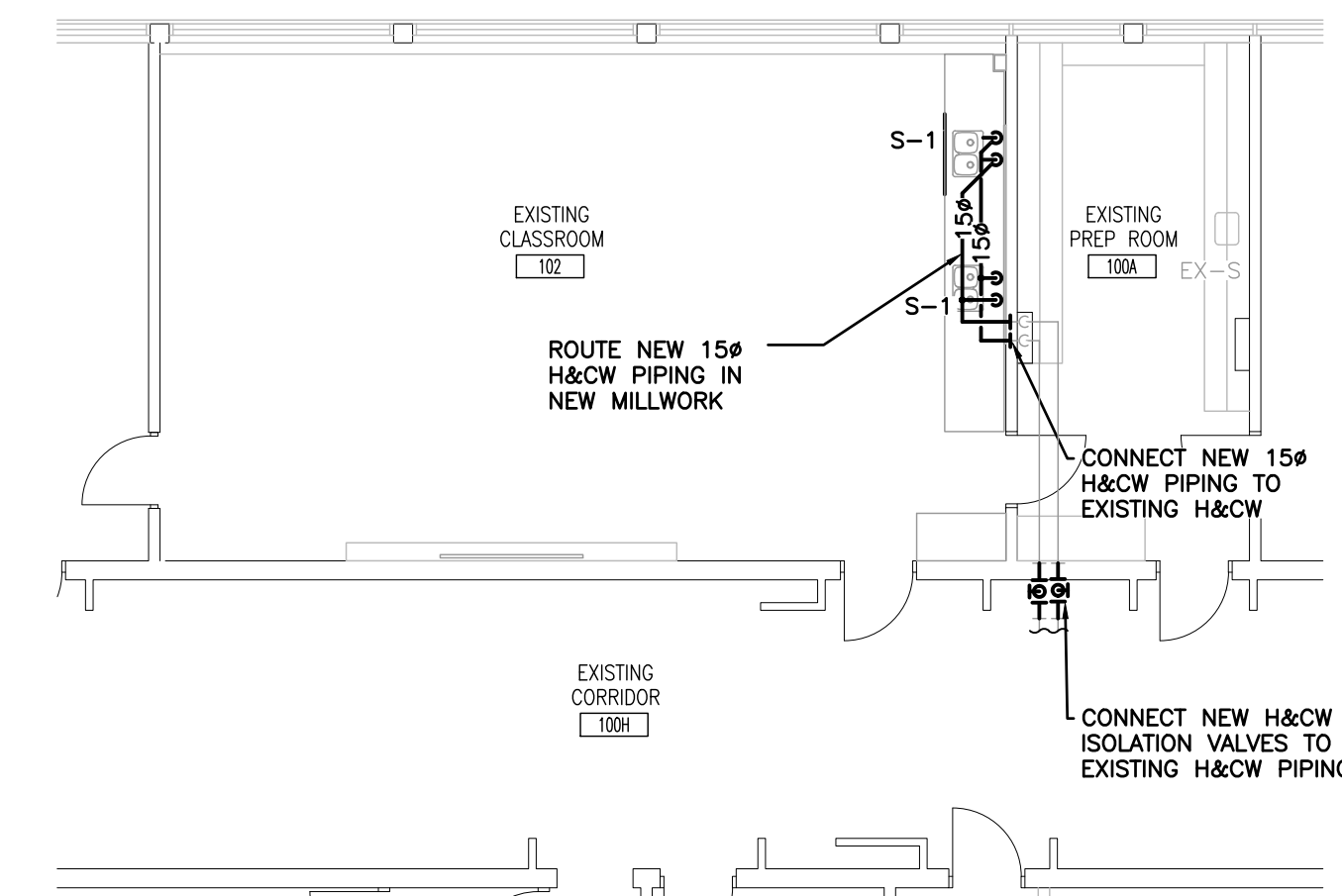
- CLEAN AND VACUUM EXISTING DUCTWORK ADJACENT TO NEW CONNECTIONS ± 10'-0" IN EACH DIRECTION.
- CO-ORDINATE ANY OWSJ BRIDGING RELOCATION OR REMOVAL/REPLACEMENT WITH THE GENERAL CONTRACTOR. PAY ALL COSTS REQUIRED TO MODIFY BRIDGING FOR INSTALLATION OF DUCTWORK.
- SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS, CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED. CO-ORDINATE VENT LOCATION(S) WITH GENERAL CONTRACTOR. MAINTAIN MINIMUM 3700mm (12'-0") FROM ANY AIR INLET. INSTALL VENT PIPING HIGH IN JOIST SPACE.
- REFER TO ARCHITECTURAL CEILING PLANS FOR GRILLES/DIFFUSERS LOCATIONS. CO-ORDINATE FINAL LOCATION ON SITE.
- CO-ORDINATE ROUGH-IN AND MOUNTING HEIGHTS OF FIXTURES WITH MILLWORK AND ARCHITECTURAL DETAILS.
- CONTRACTOR TO CARRY IN THEIR PRICING TO DRAIN SYSTEM OR FREEZE PIPING TO COMPLETE WORK

SPECIFIC RENOVATION NOTES

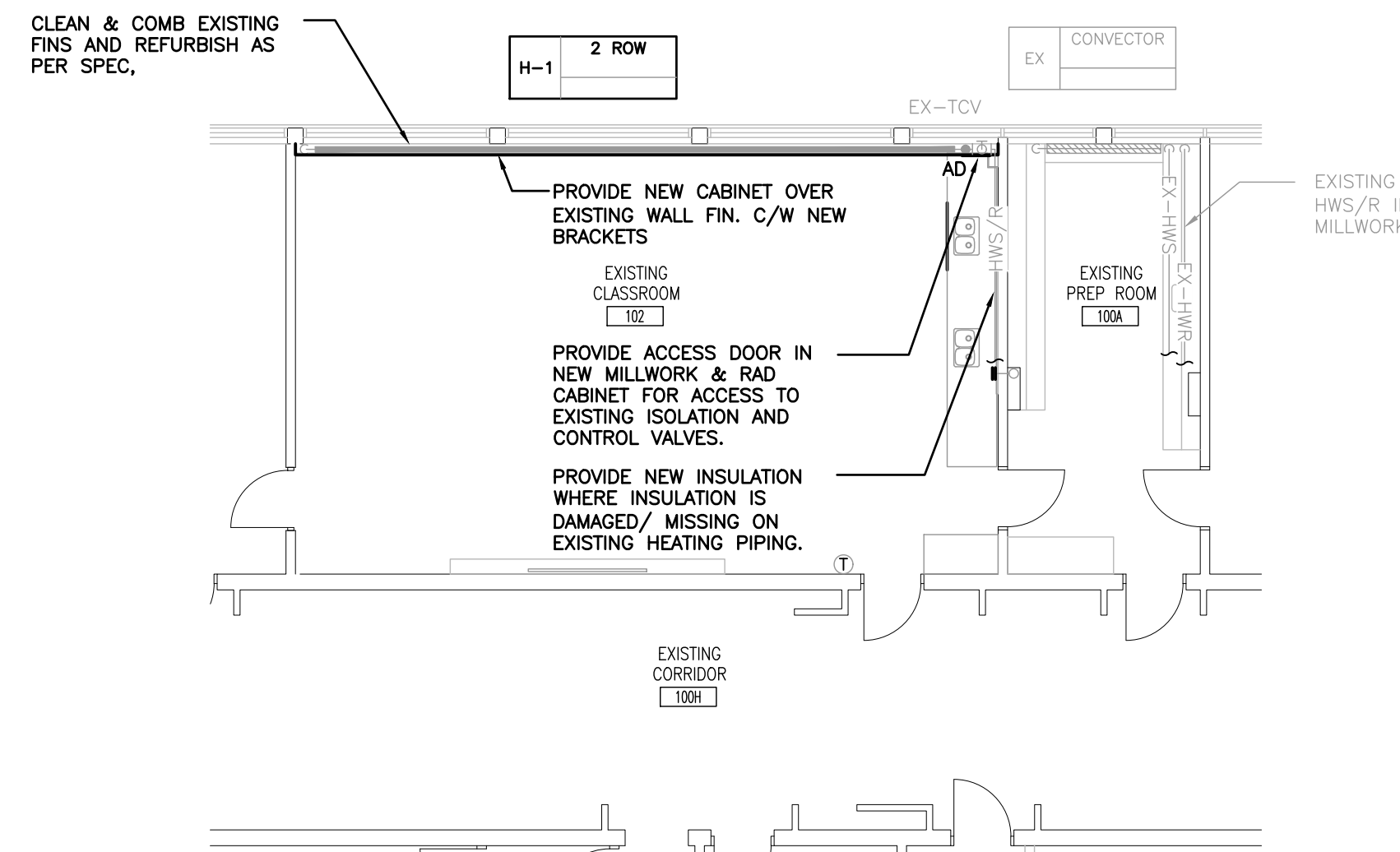
- A. CLEAN EXISTING GRILLE AND REINSTALL.



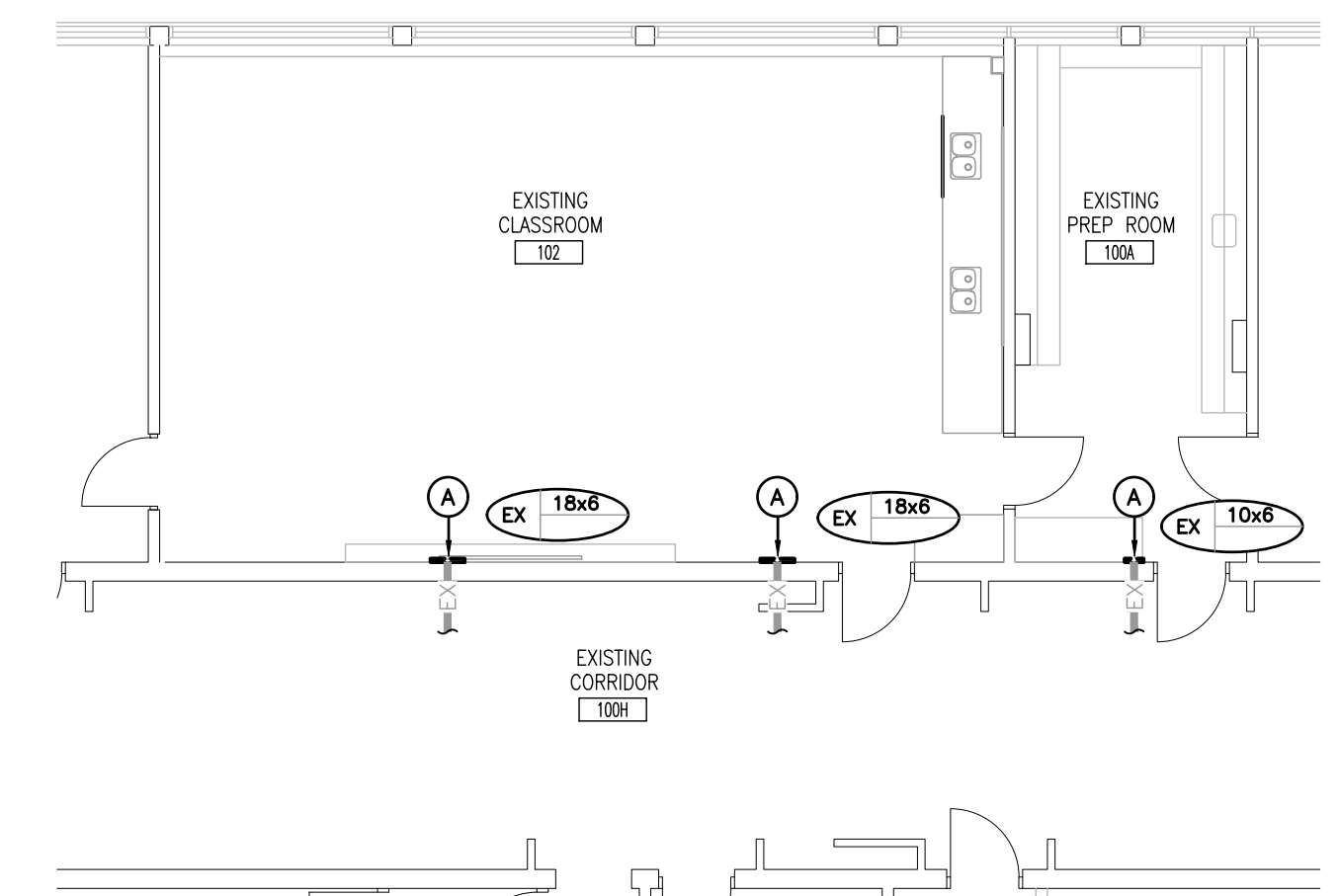
GROUND FLOOR PART PLAN – RENOVATION – DRAINAGE
SCALE: 1:100



GROUND FLOOR PART PLAN – RENOVATION – PIPING
SCALE: 1:100



GROUND FLOOR PART PLAN – RENOVATION – HEATING
SCALE: 1:100



GROUND FLOOR PART PLAN – RENOVATION – VENTILATION
SCALE: 1:100

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
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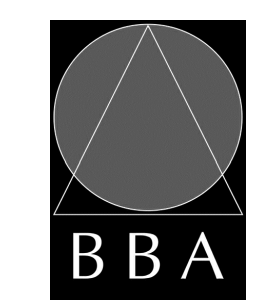
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1	ISSUED FOR REVIEW	03.20.2024	MW
2	ISSUED FOR TENDER	04.18.2024	MW

NO.	REVISIONS	DATE	BY
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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
GROUND FLOOR PART PLANS - RENOVATION



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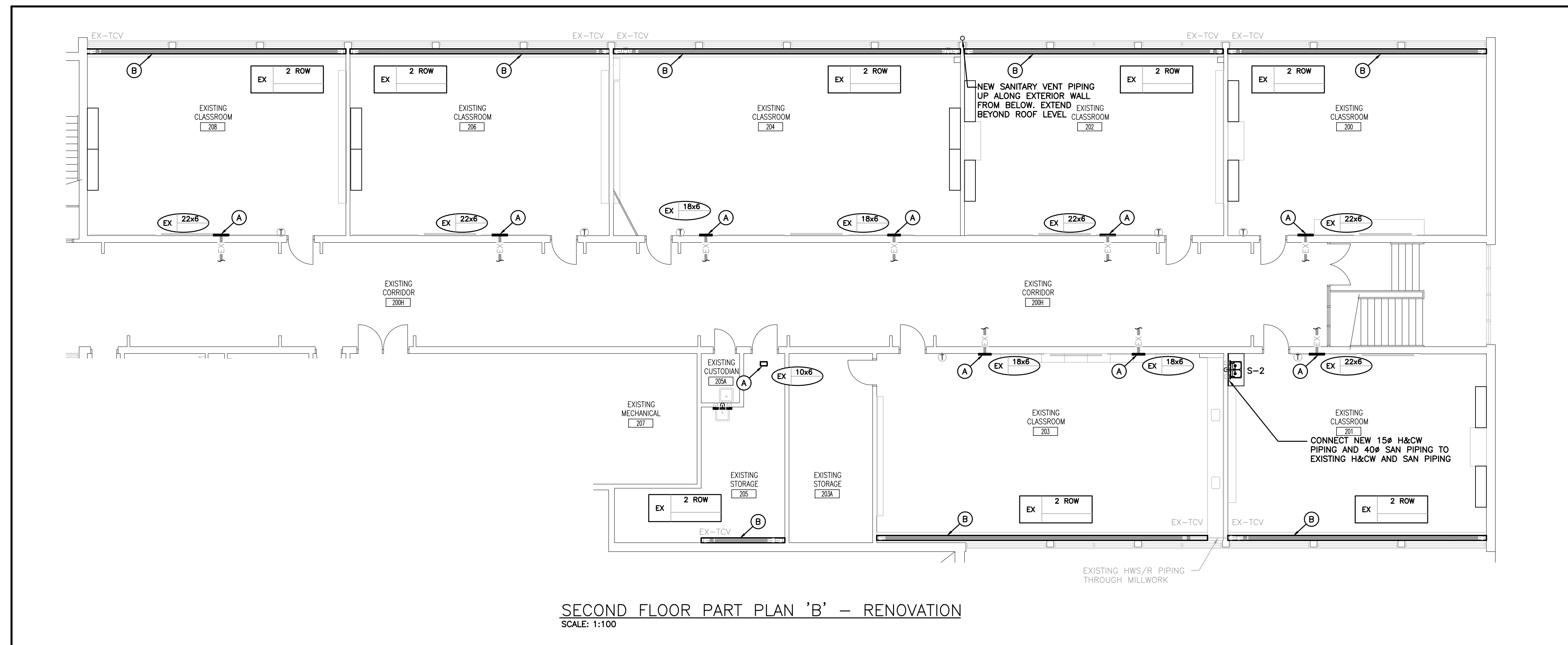
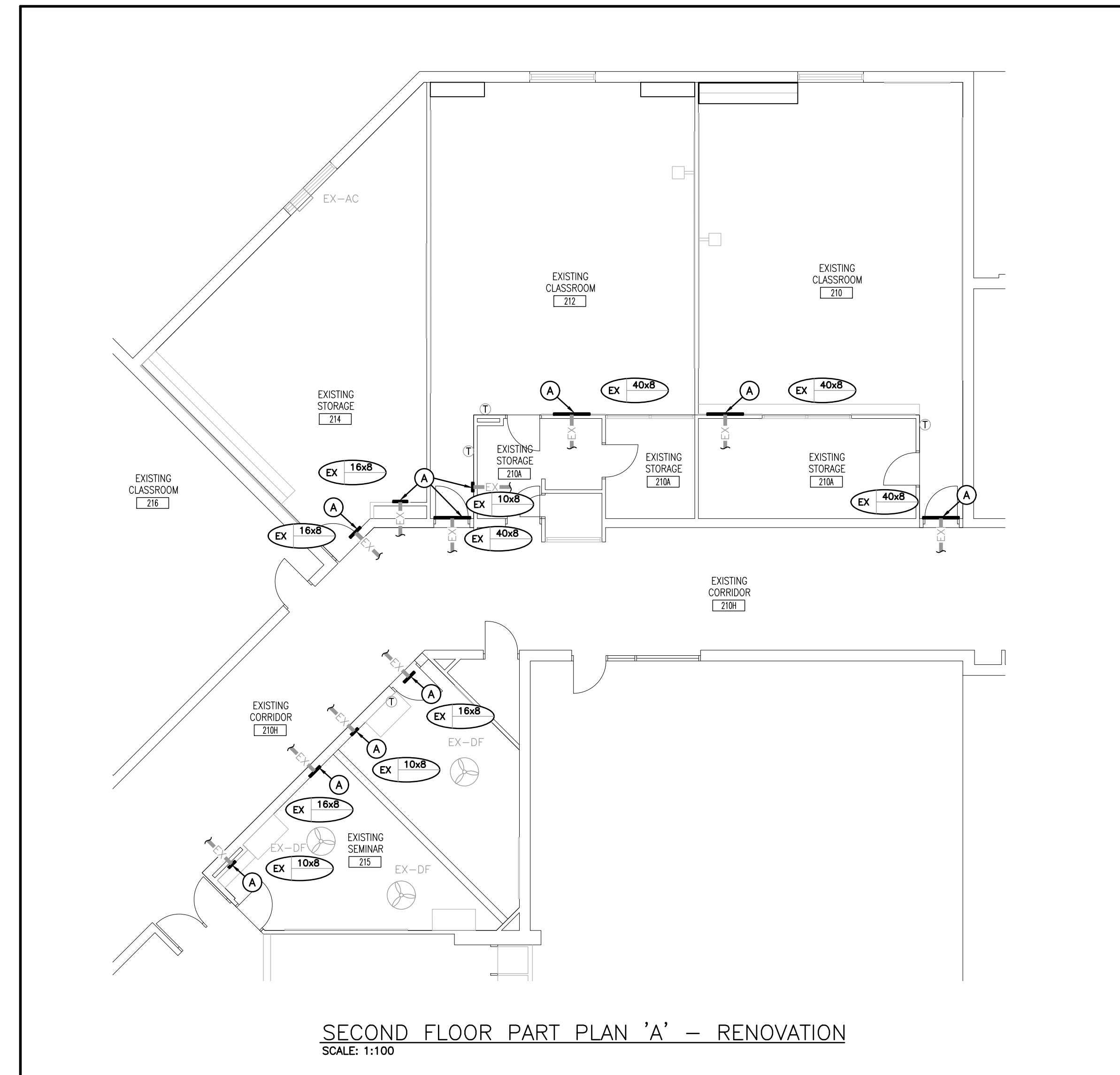
PROJECT NO: **24035** DRAWING NO: **M301**

GENERAL RENOVATION NOTES

- CLEAN AND VACUUM EXISTING DUCTWORK ADJACENT TO NEW CONNECTIONS ± 10'-0" IN EACH DIRECTION.
- CO-ORDINATE ANY OWS/ BRIDGING RELOCATION OR REMOVAL/REPLACEMENT WITH THE GENERAL CONTRACTOR. PAY ALL COSTS REQUIRED TO MODIFY BRIDGING FOR INSTALLATION OF DUCTWORK.
- SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS, CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED. CO-ORDINATE VENT LOCATION(S) WITH GENERAL CONTRACTOR. MAINTAIN MINIMUM 3700mm (12'-0") FROM ANY AIR INLET. INSTALL VENT PIPING HIGH IN JOIST SPACE.
- REFER TO ARCHITECTURAL CEILING PLANS FOR GRILLES/DIFFUSERS LOCATIONS. CO-ORDINATE FINAL LOCATION ON SITE.
- CO-ORDINATE ROUGH-IN AND MOUNTING HEIGHTS OF FIXTURES WITH MILLWORK AND ARCHITECTURAL DETAILS.
- CONTRACTOR TO CARRY IN THEIR PRICING TO DRAIN SYSTEM OR FREEZE PIPING TO COMPLETE WORK

SPECIFIC RENOVATION NOTES

- A. CLEAN EXISTING GRILLE AND REINSTALL.
- B. EXISTING WALL FIN AND CABINET TO BE CLEANED AND REFURBISHED AS PER SPECIFICATION. REINSTALL CABINET AFTER PAINTING.



The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
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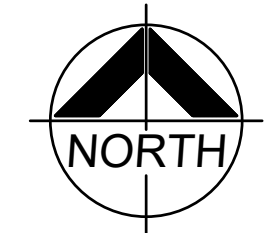
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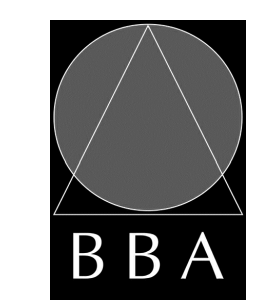
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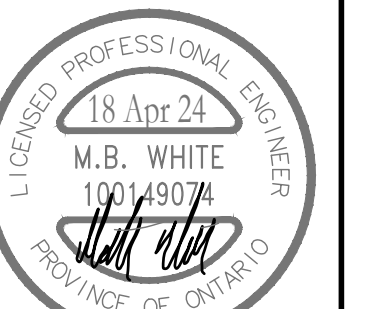


PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
SECOND FLOOR PART PLANS - RENOVATION



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MECHANICAL SPECIFICATION

PART A GENERAL NOTES

- 1. PROVIDE LABOUR, MATERIAL AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE INSTALLATION WITH QUALITY WORKMANSHIP ACCEPTABLE TO OWNER AND CONSULTANT.
2. OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES, AND OTHER COSTS INCURRED WITH THIS WORK. FILE ALL PLANS. OBTAIN ALL NECESSARY APPROVALS, CERTIFICATES. SUBMIT ALL FINAL CERTIFICATES TO THE CONSULTANT.
3. VISIT THE SITE BEFORE SUBMITTING TENDERS TO EVALUATE ANY SITE CONDITIONS THAT MIGHT ARISE, INCLUDE ALL SITE CONDITIONS IN TENDER, EXTRAS WILL NOT BE ACCEPTED UNLESS BELIEVED TO BE REASONABLE BY THE OWNER AND CONSULTANT.
4. COORDINATE WITH OTHER CONTRACTORS INSTALLING EQUIPMENT OR MATERIAL AND ARRANGE EQUIPMENT IN PROPER RELATION WITH ALL OTHER TRADES. ENSURE SYSTEMS ARE SERVICEABLE.
5. CUTTING AND PATCHING SHALL BE BY THE CONTRACTOR REQUIRED TO INSTALL THE SERVICE.
6. THE DRAWINGS ARE DIAGRAMMATIC. THE SERVICES SHALL BE INSTALLED TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACES THROUGH WHICH THEY PASS.
7. PROVIDE TWO MARKED COPIES OF "AS-BUILT DRAWINGS" SHOWING THE SYSTEM AS INSTALLED.
8. PROVIDE BREAKDOWN OF CONTRACT EXCLUSIVE OF HST TO ACCEPTANCE OF CONSULTANTS PRIOR TO FIRST DRAW SUBMISSION. PROVIDE LABOUR AND MATERIAL COST FOR EACH ITEM. CONTRACT BREAKDOWN SHALL INCLUDE AS A MINIMUM MOBILIZATION AND SHOP DRAWINGS (MAX. \$2,000), DEMOLITION, PLUMBING AND DRAINAGE, PLUMBING FIXTURES, INSULATION, DUCTWORK, FIRE STOPPING, TESTING ADJUSTING AND BALANCING, AND MECHANICAL CLOSEOUT REQUIREMENTS (MIN. 3% OF CONTRACTOR VALUE, SHALL NOT BE LESS THAN \$5,000)
9. THE MECHANICAL SYSTEMS OF THIS BUILDING MUST ACHIEVE THE ENERGY EFFICIENCY LEVELS BY CONFORMING TO ANS/ASHRAE/IESNA 90.1 "ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS" AND CHAPTER 2 OF DIVISION 3 OF SB-10 PRESCRIPTIVE METHOD FROM THE ONTARIO BUILDING CODE.
10. ALL EQUIPMENT AND MATERIAL SHALL BE NEW. REPLACE ALL DAMAGED EQUIPMENT.
11. MATERIAL AND EQUIPMENT ARE NAMED IN THE SPECIFICATION TO ESTABLISH AN ACCEPTABLE STANDARD OF MATERIALS AND THE QUALITY OF WORKMANSHIP BY WHICH TO ADHERE.
12. SUBMIT SHOP DRAWINGS ELECTRONICALLY FOR ALL EQUIPMENT. THESE WILL BE REVIEWED BY THE CONSULTANT. RESUBMIT AS OFTEN AS MAY BE FOUND NECESSARY. SUBMIT ONE COMPLETE SUBMISSION INDEXED AND LABELED FOR THIS PROJECT.
13. PROVIDE ALL NECESSARY PROTECTION FOR FINISHED OR UNFINISHED WORK. ALL OPENINGS IN PIPES, DUCTS AND EQUIPMENT SHALL BE CAPPED TO ENSURE SERVICES ARE KEPT CLEAN WHEN NOT IN USE.
14. MAINTAIN INSURANCE TO FULLY PROTECT THE CONTRACTOR, OWNER AND CONSULTANT FROM ANY AND ALL CLAIMS SUCH AS UNDER THE WORKERS COMPENSATION ACT, ETC. POST PROJECT NOTIFICATION AT THE SITE IN ACCORDANCE WITH THE MINISTRY OF LABOUR REQUIREMENTS.
15. PROVIDE STRUCTURAL SUPPORTS, PLATFORMS, SUPPORTING RODS, HANGERS, INSERTS AND BRACKETS FOR EQUIPMENT AND SERVICES. DO NOT SUPPORT SERVICES FROM STEEL DECK.
16. INSTRUCT THE OWNER'S STAFF IN THE CARE, MAINTENANCE AND OPERATION OF THE SYSTEMS.
17. SUBMIT THREE (2) COPIES OF OPERATING AND MAINTENANCE INSTRUCTIONS IN A 3 RING BINDER LABELED FOR THE PROJECT.
18. REMOVE ALL PROTECTIVE COVERINGS, CLEAN AND POLISH ALL EQUIPMENT, FREE ALL OBSTRUCTIONS, CLEAN AND REPLACE ALL FILTERS WITH NEW, AND LEAVE ALL KEYS AND WRENCHES WITH THE OWNER.
19. ALL SURPLUS AND WASTE MATERIALS SHALL BE PROMPTLY REMOVED FROM THE PREMISES.
20. ALL AREAS NOT AFFECTED BY RENOVATION OR DEMOLITION SHALL REMAIN AS PRESENTLY INSTALLED UNLESS NOTED OTHERWISE.
21. THE OWNER WILL DECIDE WHICH ITEMS OR EQUIPMENT SLATED FOR REMOVAL THAT THEY WISH TO RETAIN AS THEIR PROPERTY AND THIS CONTRACTOR SHALL REMOVE ALL OTHER MATERIALS FROM THE PREMISES.
22. PROVIDE LAMICOID TAGS FOR IDENTIFICATION OF NEW EQUIPMENT ADDED.
23. ALL ELECTRICAL LINE AND LOW VOLTAGE WIRING WHICH IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR AS SPECIFIED ELSEWHERE HEREIN SHALL BE RUN IN EMT CONDUIT TO STANDARDS OF THE ELECTRICAL DIVISION.
24. WARRANTY ALL MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF SYSTEM.
25. PIPE SLEEVES
PROVIDE SCHEDULE 40 STEEL PIPE SLEEVES AT POINTS WHERE PIPES PASS THROUGH MASONRY, CONCRETE OR FIRE RATED ASSEMBLIES AND AS INDICATED. GROUT SLEEVES IN PLACE. MINIMUM 6 MM (1/4") CLEARANCE ALL AROUND. BETWEEN SLEEVE AND UNINSULATED PIPE OR BETWEEN SLEEVE AND INSULATION. CAULK BETWEEN SLEEVE AND PIPE IN FOUNDATION WALLS AND BELOW GRADE FLOORS WITH WATERPROOF FIRE RETARDANT NON-HARDENING MASTIC. WHERE SLEEVES PASS THROUGH WALLS OR FLOORS, PROVIDE SPACE FOR FIRESTOPPING. WHERE PIPES PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, MAINTAIN FIRE RATING INTEGRITY. ENSURE NO CONTACT BETWEEN COPPER TUBE OR PIPE AND FERROUS SLEEVE. FILL FUTURE-USE SLEEVES WITH LIME PLASTER OR OTHER EASILY REMOVABLE FILLER. COAT EXPOSED EXTERIOR SURFACES OF FERROUS SLEEVES WITH HEAVY APPLICATION OF ZINC RICH PAINT TO CGSB 1-GP-181M+AMDT-MAR-78.

PART B DEMOLITION NOTES

- 1. THIS PROJECT IS ONE OF A RETROFIT NATURE IN PART, AND WHICH WILL REQUIRE SOME DEMOLITION. ALLOW FOR ALL REMEDIAL WORK IN AREAS INDICATED ON THE DRAWINGS AND AS GENERALLY DEFINED IN THE RELEVANT SECTIONS OF THE SPECIFICATIONS.
2. THE SCOPE OF WORK IS ESSENTIALLY THE SELECTED DISCONNECTION AND/OR REMOVAL OF SERVICES AND/OR EQUIPMENT, PIPING, DUCTWORK ETC. AS INDICATED OR REQUIRED TO COMPLETE THE WORK.
3. THIS DIVISION IS TO LIAISE WITH THE OWNERS OR CONSULTANT FOR EQUIPMENT BEING REMOVED THAT MAY BE SUITABLE FOR REUSE TO THAT SPECIFIED OR HANDED OVER TO THE OWNER.
4. THIS DIVISION TO TAKE FULL RESPONSIBILITY FOR ANY SPECIAL TOOLS OR EQUIPMENT REQUIRED TO DISASSEMBLE OR REMOVE MATERIAL FROM BUILDING.
5. THE GENERAL EXECUTION OF THE DEMOLITION IS TO BE CARRIED OUT IN A CLEAN AND EFFICIENT MANNER.
6. DEMOLITION OF EXISTING CEILING, WALLS ETC., TO FACILITATE REMOVAL OF EXISTING SERVICES OR EQUIPMENT OR INSTALLATION OF NEW TO BE KEPT TO A MINIMUM AND THEN RESTORED TO MATCH EXISTING.
7. ALL OPENINGS OR HOLES CREATED BY REMOVAL OF EXISTING MECHANICAL SYSTEMS WHICH ARE NOT BEING REUSED ARE TO BE PATCHED WITH THE SAME MATERIAL SURROUNDING SURFACES.
8. PROTECT ALL EXISTING FURNISHINGS MATERIALS AND EQUIPMENT, ANY DAMAGE OCCURRING AS A RESULT OF THE WORK OF THIS DIVISION SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THIS DIVISION.
9. WHERE WORK INVOLVES BREAKING INTO OR CONNECTING TO EXISTING SERVICES, CARRY OUT WORK AT TIMES DIRECTED BY THE OWNERS IN AN EXPEDIENT MANNER WITH MINIMUM DISRUPTION TO THE FACILITY AND SYSTEMS DOWNTIME.
10. WHERE UNKNOWN SERVICES ARE ENCOUNTERED, IMMEDIATELY ADVISE CONSULTANT AND CONFIRM FINDINGS IN WRITING.
11. WHERE THE LOCATION OF ANY SERVICES HAS BEEN SHOWN ON THE PLANS, SUCH INFORMATION IS NOT GUARANTEED. IT IS THIS DIVISION'S RESPONSIBILITY TO VERIFY LOCATIONS, INVERT ELEVATIONS, ETC., IMMEDIATELY AFTER MOVING ON SITE. SHOULD FOR ANY REASON THE INFORMATION OBTAINED NECESSITATES CHANGES IN PROCEDURE OR DESIGN, ADVISE THE CONSULTANT AT ONCE. IF VERIFICATION OF EXISTING CONDITIONS IS NOT DONE AT THE OUTSET AND ANY PROBLEMS ARISE, THE RESPONSIBILITY FOR SAME IS ENTIRELY THIS DIVISION'S.
12. DISCONNECT AND/OR REMOVE EQUIPMENT PIPING, DUCTWORK, ETC. AS INDICATED.
13. CAP AND CONCEAL ALL REDUNDANT AND OBSOLETE CONNECTIONS.
14. PROVIDE A LIST OF EQUIPMENT TO BE REMOVED TO THE OWNER, FOR HIS ACCEPTANCE OF SAME. REMOVE ALL EQUIPMENT FROM SITE WHICH THE OWNER DOES NOT RETAIN.
15. MAINTAIN EQUIPMENT TO BE RETAINED BY OWNER ON SITE WHERE DIRECTED BY CONSULTANT.
16. DEMOLITION OF ALL PARTS OF THE WORK MUST BE COMPLETED WITHIN THE CONFINES OF THE WORK AREA AND IN SUCH A WAY AS THE DUST PRODUCED AND RISK TO INJURY OF WILL NOT ADVERSELY AFFECT THE BUILDING USERS. THESE AREAS MUST BE KEPT TO THE MINIMUM REQUIRED TO COMPLETE THE WORK.
17. DEMOLISHED AREAS OF THE EXISTING BUILDING WILL REMAIN IN THEIR CURRENT USE IN SOME CASES. DEMOLITION IN THESE AREAS MUST BE KEPT TO THE MINIMUM REQUIRED TO COMPLETE THE WORK.
18. DEMOLITION SHALL TAKE PLACE WITHIN AREAS ISOLATED FROM ALL OTHER AREAS WITH APPROPRIATE HOARDING, SCAFFOLDING, NETTING, FENCING OR OTHER MEANS OF SECURITY BETWEEN BUILDING USERS AND THE WORK.
19. CO-ORDINATE MAKING SAFE ELECTRICAL DEVICES, CAPPING PLUMBING AND REMOVAL OF FIXTURES PRIOR TO COMMENCEMENT OF DEMOLITION.

- 20. ALL PIPING AND EQUIPMENT TO BE REMOVED AND/OR ABANDONED SHALL BE DRAINED PRIOR TO CAPPING AND/OR ABANDONING. DISPOSAL OF ALL LIQUIDS SHALL BE TO THE APPROVAL OF AUTHORITY OF HAVING JURISDICTION AND/OR PROVINCIAL REGULATIONS.
21. DRAIN ALL EXISTING PIPING AND DRAINAGE SYSTEMS INCLUDING ALL RELATED EQUIPMENT AS REQUIRED TO FACILITATE SYSTEM RENOVATIONS.
22. DISPOSAL OF EXISTING SYSTEM SHALL BE TO THE REQUIREMENTS OF THE LOCAL AND/OR PROVINCIAL REGULATIONS.

PART C PLUMBING NOTES

- 1. CONTRACTOR TO PROVIDE POTABLE WATER CERTIFICATE FOR E. COLI AND COLIFORM FROM A RECOGNIZED TESTING LABORATORY UPON COMPLETION OF THE PROJECT. WATER IS TO BE TAKEN FROM A NEW FIXTURE TO TEST THE NEW PIPING INSTALLED.
2. SERVICES
CONNECT TO EXISTING SERVICES WHERE SHOWN ON DRAWINGS.
3. CODES AND REGULATIONS
SANITARY, SOIL WASTE, VENT, AND ALL WATER PIPING SHALL CONFORM AND BE INSTALLED TO THE ONTARIO PLUMBING CODE AND THE CANADIAN PLUMBING CODE, LATEST EDITION. ALL GAS PIPING SHALL CONFORM TO THE CANADIAN GAS CODE AND THE LOCAL GAS DISTRIBUTORS REQUIREMENTS.
4. TESTING
SANITARY PIPING: ALL SANITARY PIPING SHALL BE TESTED WITH WATER UNDER THE GUIDANCE OF THE LOCAL PLUMBING INSPECTOR. SMOKE TESTS OR ANY OTHER TEST REQUIRED BY THE PLUMBING INSPECTOR SHALL ALSO BE MADE. WATER PIPING: ALL WATER PIPING SHALL BE TESTED TO 150 PSI. PRESSURE FOR NOT LESS THAN FOUR HOURS WITHOUT A LOSS IN PRESSURE. GAS PIPING: ALL GAS PIPING SHALL BE PRESSURE TESTED TO THE LATEST ONTARIO GAS UTILIZATION CODE AND LOCAL GAS DISTRIBUTORS REQUIREMENTS. ALL GAS PIPING SHALL CONFORM TO THE CANADIAN GAS CODE AND THE LOCAL GAS DISTRIBUTORS REQUIREMENTS.
FLUSHING AND DISINFECTING
MAINTAIN TESTABLE RP BACKFLOW PREVENTOR BETWEEN MUNICIPAL WATER AND NEW PLUMBING SYSTEM. ENSURE A MINIMUM OF 90% OF PLUMBING FIXTURES ARE INSTALLED. FLUSH WATER MAINS THROUGH AVAILABLE OUTLETS WITH A SUFFICIENT FLOW OF POTABLE WATER TO PRODUCE A VELOCITY OF 1.5 M/S, WITHIN PIPE FOR 10 MIN. OR UNTIL FOREIGN MATERIALS HAVE BEEN REMOVED AND FLUSHED WATER IS CLEAR WITH BACKFLOW PROTECTION. PROVIDE CONNECTIONS AND PUMPS FOR FLUSHING AS REQUIRED. OPEN AND CLOSE VALVES, AND OPERATE FIXTURES TO ENSURE THOROUGH FLUSHING. TAKE WATER SAMPLES AT REMOTE FIXTURES AND SERVICE CONNECTIONS.
5. PIPE AND FITTINGS
STORM, SANITARY AND VENT DRAINS: (ABOVE GRADE), MEDIUM WEIGHT CAST IRON WITH MECHANICAL RUBBER JOINTS OR TYPE DWV COPPER PIPE. STORM, SANITARY AND VENT PIPING: (BELOW GRADE) PVC DRAINAGE PIPE TO SDR 35 WITH SOLVENT WELDED JOINTS. GAS PIPING: ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE WITH SCREWED MALLEABLE IRON FITTINGS FOR PIPING 2" DIAMETER AND SMALLER, AND WELDED JOINTS FOR PIPE 2 1/2" DIAMETER AND LARGER UNLESS OTHERWISE NOTED HEREIN. ALL GAS PIPING SHALL BE PAINTED WITH TWO COATS OF YELLOW PAINT.
6. VALVES
ISOLATION VALVES: HOT AND COLD WATER BRONZE BODY, CLASS 150, STAINLESS STEEL BALL, FULL PORT, PTFE SEAT AND PACKING, STEEL LEVER HANDLE. MILWAUKEE BA-455, CRANE, TOTO CHECK VALVES: HOT AND COLD WATER SIZES 1/2" DIAMETER TO 2" DIAMETER CRANE FIG. 1342, OR EQUAL JENKINS, BRONZE SWING CHECK, SOLDER ENDS. CRANE FIG. 29 OR EQUAL JENKINS VERTICAL LIFT CHECK VALVE, SCREWED ENDS ON VERTICAL PIPING. GAS VALVES: SHALL BE GSA APPROVED LUBRICATED PLUG TYPE.
7. CLEAN OUTS
CLEAN OUTS: PROVIDE AND SET CLEAN OUT PLUGS IN ALL DRAINS AND SOIL PIPE LINES WHERE OBSTRUCTIONS MAY BE FOUND, AT CHANGES OF DIRECTION, AT THE BASE OF ALL SANITARY STACKS AND AT INTERVALS. LENGTHS TO THE ONTARIO PLUMBING CODE. CLEAN OUTS SHALL BE FULL SIZES OF PIPES UP TO 4" DIAMETER AND NOT LESS THAN 4" DIAMETER FOR LARGER PIPES. ANCON CO-100-R OR EQUAL.
8. AIR CHAMBERS
AIR CHAMBERS: SHALL BE ONE PIPE SIZE LARGER THAN THE BRANCH PIPE END AND AT LEAST 2'-0" HIGH.
9. DRAIN VALVES
DRIP COCKS: SUPPLY AND INSTALL 1/2" DIAMETER MUELLER OR EQUAL DRAIN VALVES AT ALL LOW POINTS IN THE WATER SYSTEMS TO COMPLETELY DRAIN THE SYSTEMS. ALL DRIP COCKS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS.
10. THERMOMETER & PRESSURE GAUGES
DIRECT READING THERMOMETERS AND PRESSURE GAUGES ON ALL HOT AND COLD. PRESSURE GAUGES SHALL BE TERTRICE OR APPROVED EQUAL. GAUGES SHALL BE INSTALLED IN SUCH A MANNER TO BE ACCESSIBLE, AND EASILY READ. ALL GAUGES SHALL BE 5" DIAMETER, UNLESS NOTED OTHERWISE. THE SCALE RANGE ON EACH PRESSURE GAUGE SHALL BE SUCH THAT THE OPERATING PRESSURE GAUGE SHALL PLACE THE INDICATOR AT ABOUT THE CENTER OF THE DIAL.
11. PLUMBING FIXTURES
FIXTURES AS LISTED ON THE DRAWINGS. ALL FIXTURES MUST BE NEW AND CLEAN WHEN THE WORK IS TAKEN OVER BY THE OWNER. ALL PLUMBING FIXTURES SHALL BE EQUIPPED WITH SUPPLY VALVES, FAUCETS, TRAPS, SUPPORTS, WATER CONNECTIONS, ESCUTCHEONS, HANGERS, BOLTS, ETC. FIXTURES SHALL BE CRANE OR EQUAL AMERICAN STANDARD, KOHLER, TRAPS 2" DIAMETER AND SMALLER, SHALL BE CAST BRASS AND CHROME PLATED IN EXPOSED AREAS. ALL SINK TRAPS SHALL BE TWO PIECE CONSTRUCTION. ALL TRIM MUST BE CAMBRIDGE BRASS OR EQUAL. ON COMPLETION ALL FIXTURES, ACCESSORIES AND EXPOSED PIPING SHALL BE THOROUGHLY CLEANED AND LEFT READY FOR USE. AFTER FINAL INSPECTION BY THE PLUMBING INSPECTOR CAULK AROUND BASE OF ALL FIXTURES TO THE WALL OR FLOOR WITH SILICONE CAULKING.
12. PIPE INSULATION
INSULATE ALL DOMESTIC HOT AND COLD WATER PIPING AND STORM PIPING ABOVE GRADE, WITH 1" (FOR PIPING UNDER 1 1/2" DIAMETER) OR 1 1/2" (FOR PIPING 1 1/2" DIAMETER AND HIGHER) FIBERGLASS INSULATION WITH VAPOUR BARRIER. INSTALL AS PER MANUFACTURERS RECOMMENDATIONS. RECOVER EXPOSED PIPING WITH WHITE PVC JACKET.

PART D HYDRONIC HEATING

- 1. HEATING WATER PIPING:
SCHEDULE 40 STEEL PIPE TO ASTM 53, GRADE B
PIPING NPS 2 AND UNDER SHALL BE MALLEABLE IRON 150 LB SCREWED FITTINGS WITH PULVERIZED LEAD PASTE. PIPING NPS 2½ AND OVER SHALL BE WELDED FITTINGS AND STEEL FLANGES TO ANSI/ASME B16.5.
2. PIPE INSULATION:
INSULATE ALL HEATING WATER PIPING WITH 1½" FIBERGLASS INSULATION WITH VAPOUR BARRIER. INSTALL AS PER MANUFACTURERS RECOMMENDATIONS. RECOVER EXPOSED PIPING WITH PVC JACKET.
3. STANDARD ENCLOSURES:
1.6mm (16 GAUGE) THICK STEEL COMPLETE WITH STAMPED GRILLE, COMPONENTS FOR WALL-TO-WALL OR COMPLETE WITH DIE FORMED END CAPS HAVING NO KNOCK-OUTS, WITH INSIDE CORNERS, OUTSIDE CORNERS, AS INDICATED. PROVIDE FULL LENGTH CHANNEL AND SEALER STRIP AT TOP OF WALL EDGE. HEIGHT AS INDICATED, JOINTS AND FILLER PIECES TO BE FLUSH WITH CABINET. SUPPORT RIGIDLY TOP AND BOTTOM, ON WALL MOUNTED BRACKETS. JOINTS AND FILLER PIECES TO BE CLEAR OF GRILLES LOCATED TO PROVIDE EASY ACCESS TO VALVES AND VENTS. PROVIDE ACCESS DOORS FOR VALVES. FINISH CABINET WITH FACTORY APPLIED BAKED PRIMER COAT. ENCLOSURE HEIGHT AS INDICATED. SLOPING TOP OPEN BOTTOM. ENGINEERED AIR WF-1A SERIES (HEIGHT TO MATCH EXISTING) OR EQUAL.
4. EXISTING WALL FIN AND CABINET RADIATION
REMOVE EXISTING COVER, VACUUM EXISTING FIN AND COMPONENTS. REPLACE DAMAGED COMPONENTS INCLUDING BUT NOT LIMITED TO HANGERS, WALL MOUNTING BRACKETS. CLEAN EXISTING FINNED TUBES AND COMB STRAIGHT. CLEAN EXISTING CABINET. REINSTALL EXISTING CABINET AFTER PAINTING (PAINTING BY OTHERS).

PART E HEATING, AIR CONDITIONING, AND VENTILATION NOTES

- 1. DUCTWORK TO BE CONSTRUCTED TO SMACNA STANDARDS, MEDIUM STATIC PRESSURE WITH LEAKAGE RATE OF 5% MAXIMUM, FABRICATED IN ACCORDANCE WITH RECOMMENDATIONS OF SMACNA AND ASHRAE. SEAL ALL TRANSVERSE AND LONGITUDINAL JOINTS WITH DUCT SEALER.
2. ROUND AND OVAL DUCTS: FACTORY FABRICATED, SPIRAL WOUND, WITH MATCHING FITTINGS AND SPECIALS TO SMACNA. TRANSVERSE JOINTS UP TO 900 MM (36"); SLIP TYPE WITH TAPE AND SEALANTS.
3. SQUARE AND RECTANGULAR DUCTS: TO SMACNA. TRANSVERSE JOINTS, LONGEST SIDE UP TO AND INCLUDING 750 MM (30"); SMACNA PROPRIETARY DUCT JOINTS.
4. GRILLES, REGISTERS AND DIFFUSERS
GRILLES, REGISTERS AND DIFFUSERS SHALL BE THE SAME MANUFACTURER. TYPE AS SHOWN ON THE DRAWING. ACCEPTABLE MATERIALS: E.H. PRICE, TITUS, NAILOR, KRUEGER, TUTTLE & BAILEY, METALAIR.
5. SYSTEM BALANCING
BALANCE AIR AND WATER SYSTEMS USING NEBB CERTIFIED FIRM AND AS PER NEBB REQUIREMENTS TO WITHIN 5% OF TOTAL SYSTEM CAPACITY. PROVIDE 3 COPIES OF BALANCING REPORTS C/W SYSTEM SCHEMATICS.
6. ALTERNATES AND SUBSTITUTES
SHOULD ELECTRICAL CHARACTERISTICS FOR "ALTERNATE" OR "EQUAL" EQUIPMENT DIFFER FROM EQUIPMENT SPECIFIED IT SHALL BE THE RESPONSIBILITY OF THE EQUIPMENT MANUFACTURER TO PAY ALL COSTS ASSOCIATED WITH THE REVISIONS TO THE ELECTRICAL CONTRACT.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.

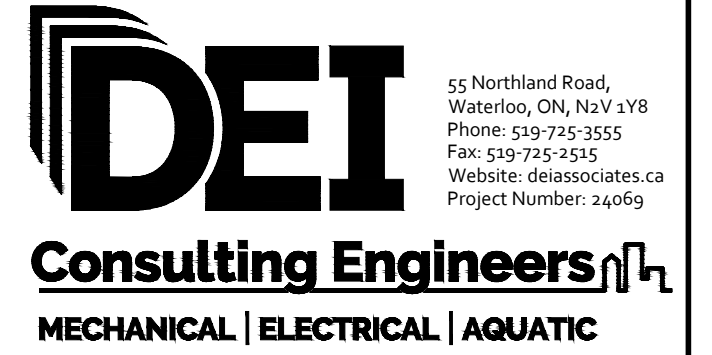


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PROJECT: RENOVATIONS TO CLARKE HIGHSCHOOL 3425 ON-35 NEWCASTLE, ON L1B1L9 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING: MECHANICAL SPECIFICATION

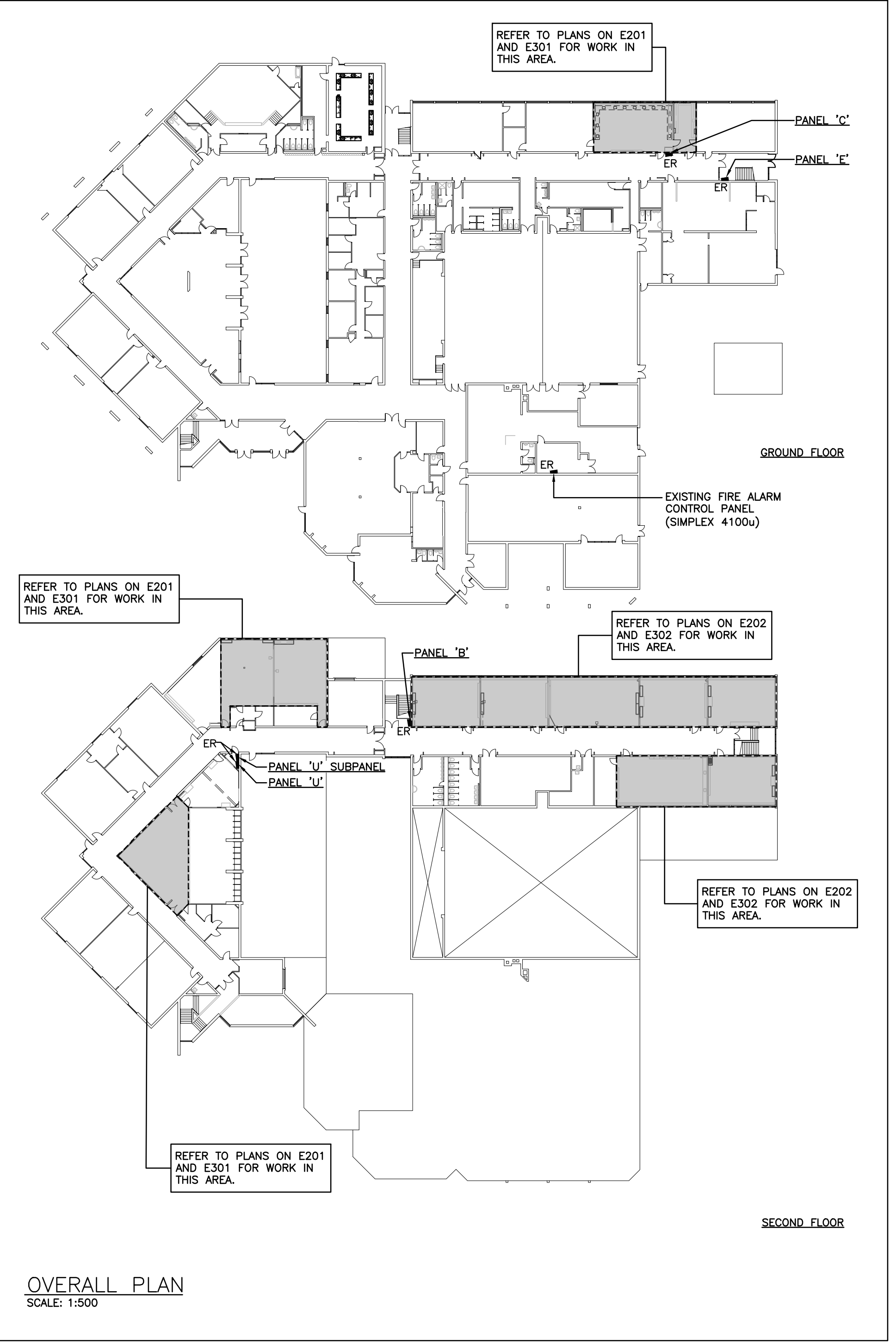
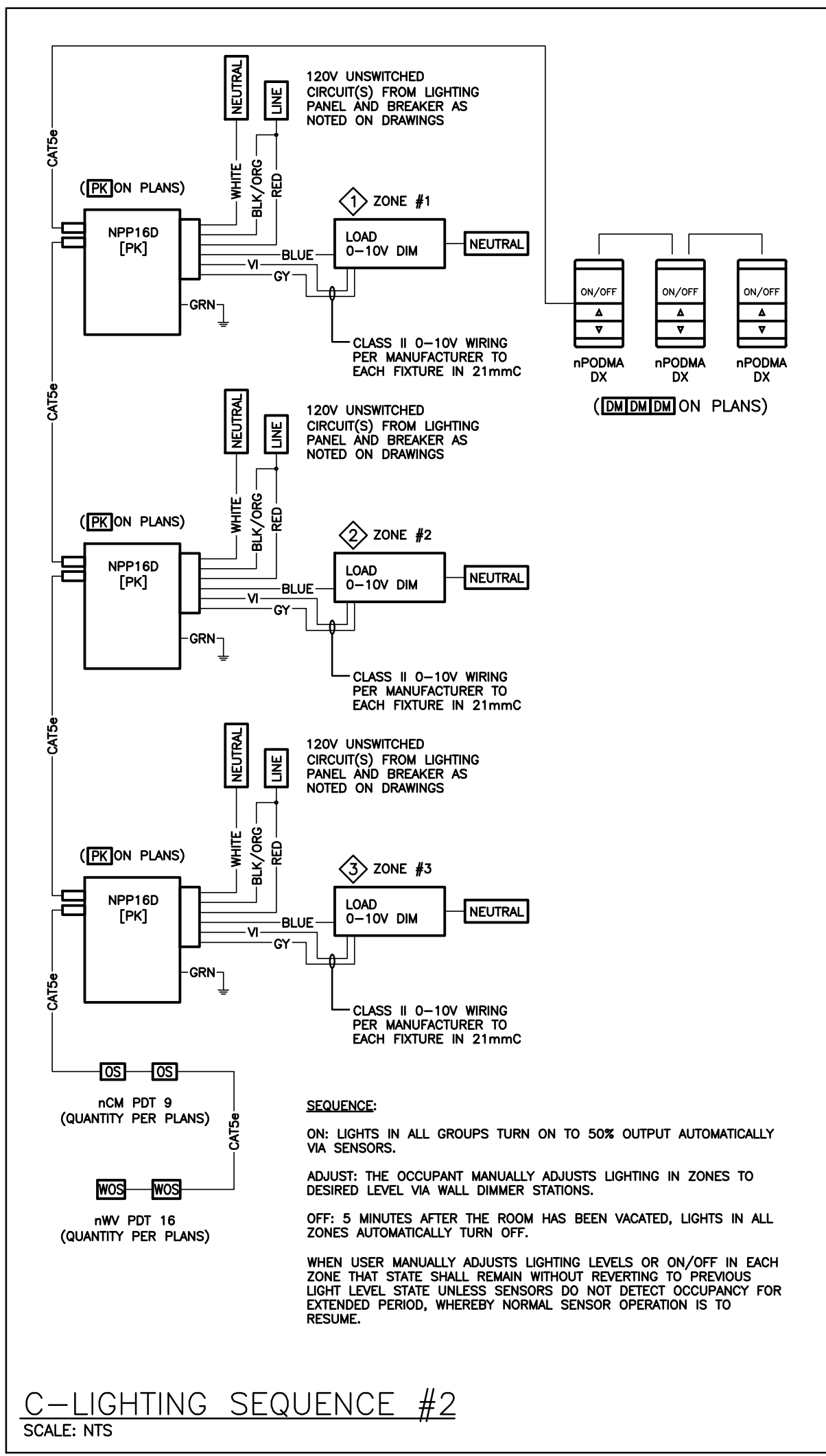
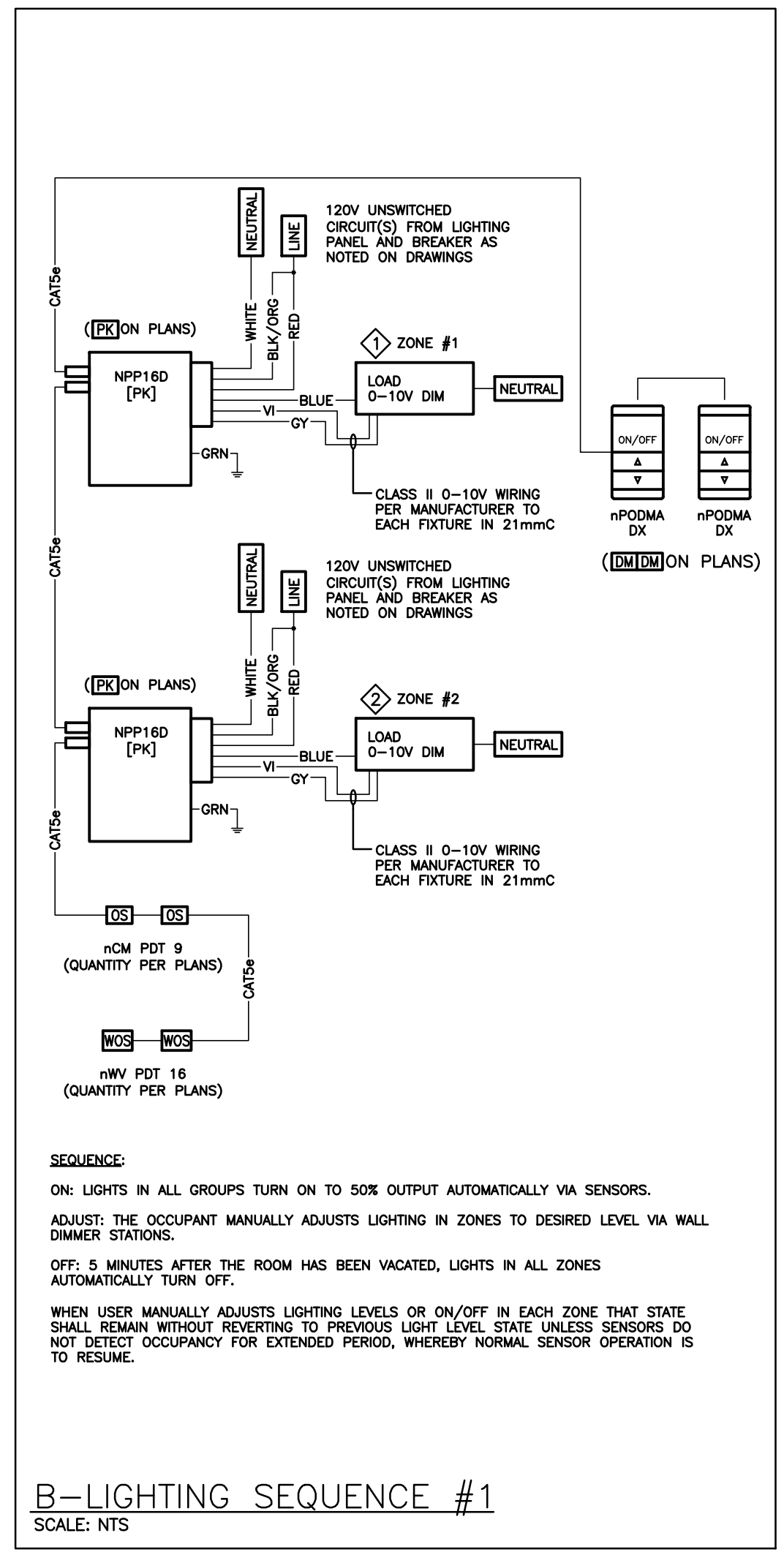
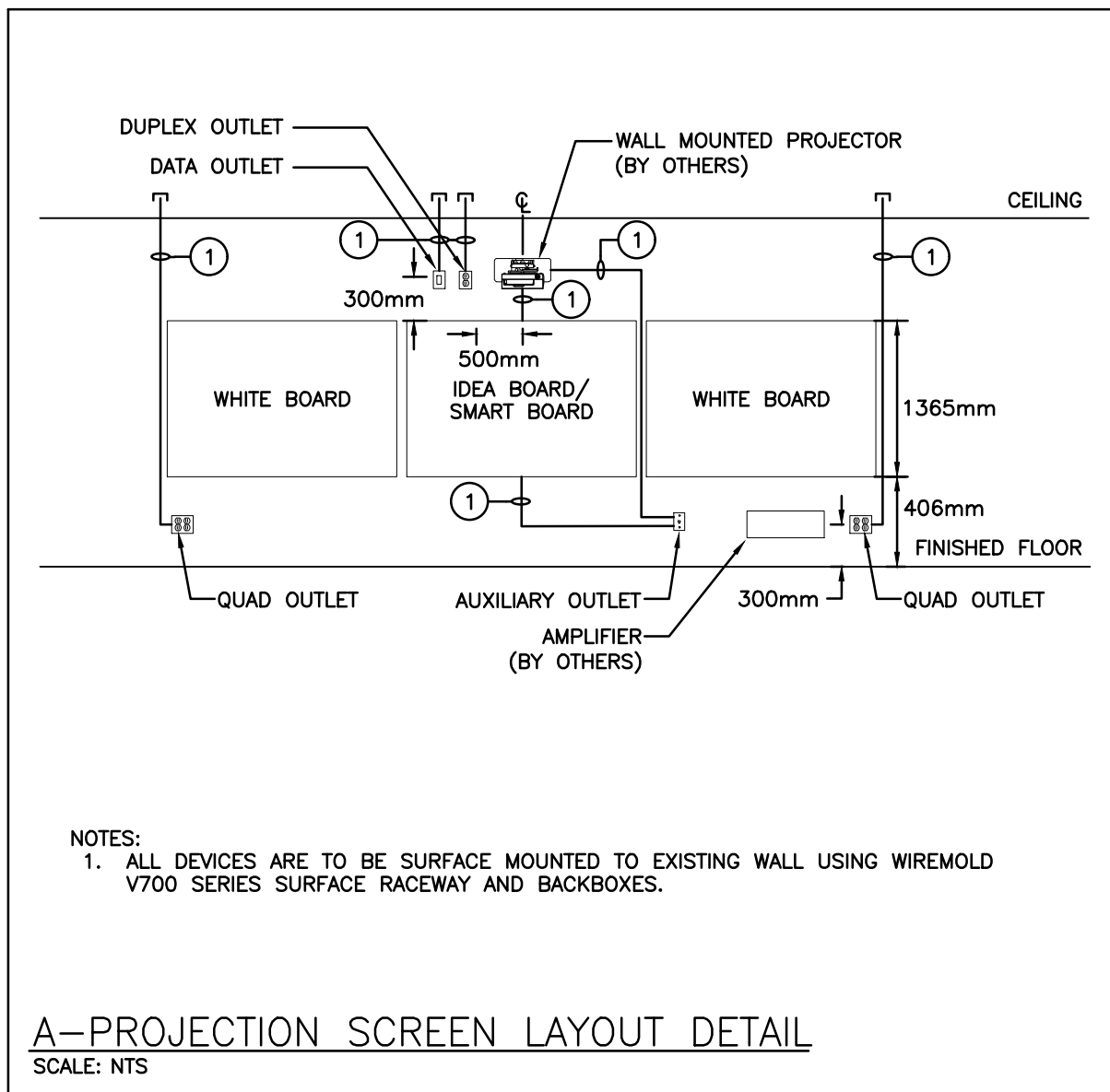
Professional Engineer stamp for M.B. WHITE, License No. 199149074, dated 18 Apr 24. Design by DB, Date: March 2024. Checked by MW, Date: March 2024. Scale: AS NOTED.

PROJECT NO: 24035 DRAWING NO: M401

LIGHT FIXTURE SCHEDULE

Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	CRI	Listings	Description
A ④	METALIX CAT. #24FPLS2SC3 LITHONIA CAT. #CPX-2X4-AL08-SW7-M2 FIRE RATED COVER: TENMAT CAT. #FF130-2X4	120V	LED 4620 LUMENS 4000K 40W	RECESSED	80	DLC DAMP LOC.	2'x4' (610mmx1220mm) LED FLAT PANEL. LIGHT FIXTURE SETTING IS TO BE SET AT "4000K" AND AT "MEDIUM"
B ④	HALO CAT. #HLBB-16-9FS-1E-MW LITHONIA CAT. #WFB-LED-30K-MVOLT-90CRI-MW FIRE RATED COVER: TENMAT CAT. #FF130-2X4	120V	LED 1600 LUMENS 4000K 20.9W	RECESSED	90	DAMP LOC.	8" (203.2mm) LED DOWNLIGHT. LIGHT FIXTURE SETTING IS TO BE SET AT "4000K"

- NOTES:
- LED LUMEN VALUES QUOTED FOR FIXTURES ARE TO BE CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED LUMENS. LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10% OF SPECIFIED OUTPUT.
 - EQUAL MANUFACTURERS/SUPPLIERS MUST CONFIRM THE PROPOSED FIXTURE BY EMAIL WITH CONSULTANTS OFFICE A MINIMUM OF 10 DAYS PRIOR TO TENDER CLOSE.
 - IF THERE ARE ANY DISCREPANCIES BETWEEN THE FIXTURE PART NUMBER AND DESCRIPTION, IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO BRING THESE TO THE ELECTRICAL CONSULTANT'S ATTENTION PRIOR TO TENDER CLOSE. NO EXTRAS WILL BE ENTERTAINED FOR FAILURE TO DO SO. FINAL FIXTURE CHARACTERISTICS AND DESCRIPTION WILL BE MARKED BY CONSULTANT AT TIME OF SHOP DRAWING REVIEW.
 - FIXTURE MUST HAVE A FIRE RATED COVER INSTALLED AS NOTED ON RENOVATION DRAWING AND FIXTURE MUST BE IC (INSULATION CONTACT) RATED (DUE TO THE FIRE RATED COVER).



ELECTRICAL SYMBOLS NOTE: ALL SYMBOLS MAY NOT BE USED

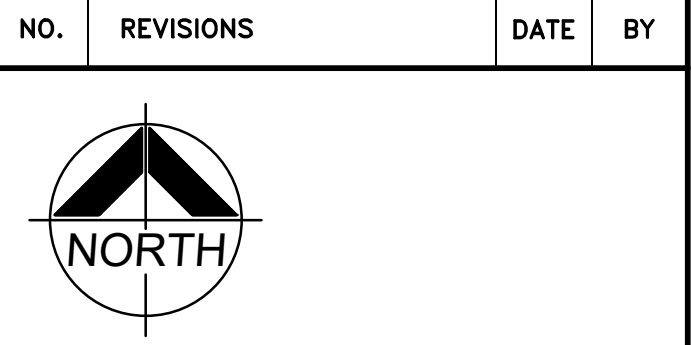
LIGHTING		POWER	
ⓧ	LIGHT FIXTURE TYPE AS INDICATED	Ⓢ	WALL MOUNTED RECEPTACLE (15A-120V)
Ⓢ	CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE	Ⓢ	WALL MOUNTED T-SLOT RECEPTACLE (20A-120V)
Ⓢ	SINGLE POLE SWITCH (3=3 WAY, 4=4 WAY, P=PILOT LIGHT, K=KEYED, DM=DIMMER, M=MOTOR RATED)	Ⓢ	T-SLOT RECEPTACLE MTD. ABOVE COUNTER (20A-120V)
Ⓢ	OCCUPANCY SENSOR	Ⓢ	QUAD RECEPTACLE
Ⓢ	OCCUPANCY SENSOR (DM=DIMMER)	Ⓢ	DIRECT CONNECTION
Ⓢ	DIGITAL CEILING MOUNTED MOTION SENSOR	Ⓢ	JUNCTION BOX
Ⓢ	DIGITAL RELAY	Ⓢ	PANEL AS INDICATED
Ⓢ	RECESSED REMOTE EMERGENCY FIXTURES	Ⓢ	SURFACE RACEWAY C/W DEVICES AS NOTED (REFER TO SPECIFICATIONS)
Ⓢ	DIGITAL WALL DIMMER STATION	Ⓢ	PUSH-BUTTON STATION (QUANTITY OF BUTTONS AS PER PLANS)
FIRE ALARM		Ⓢ	POWER POLE
Ⓢ	HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)	Ⓢ	FLOOR BOX C/W DEVICES AS NOTED (REFER TO SPECIFICATIONS)
Ⓢ	SMOKE DETECTOR	GENERAL	
Ⓢ	ALARM HORN	ER	INDICATED EXISTING ITEM TO REMAIN
COMMUNICATIONS		D	INDICATES EXISTING ITEM TO BE DELETED
Ⓢ	SINGLE WALL MOUNTED TELEPHONE OUTLET C/W 1/2" (13mm) C TO CABLE MANAGEMENT SYSTEM	R	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION
Ⓢ	SINGLE COMPUTER OUTLET C/W 3/4" (21mm) C TO CABLE MANAGEMENT SYSTEM	GF	GROUND FAULT
Ⓢ	WIRELESS ACCESS POINT, PROVIDE 3/4" (21mm) C TO CABLE MANAGEMENT SYSTEM	CLG	CEILING MOUNTED
Ⓢ	CLOCK REFERENCE LOCATION - PROVIDED BY SCHOOL BOARD, INSTALLED BY TRADES	Ⓢ	NOTE INDICATOR
Ⓢ	WALL MOUNTED SPEAKER (CS=COLUMN SPEAKER)	Ⓢ	MECHANICAL ITEM NO.
Ⓢ	CEILING MOUNTED SPEAKER	Ⓢ	ZONE INDICATOR
Ⓢ	AUXILIARY ROUGH-IN FOR USE AS NOTED.	STANDARD CIRCUIT LABELING	

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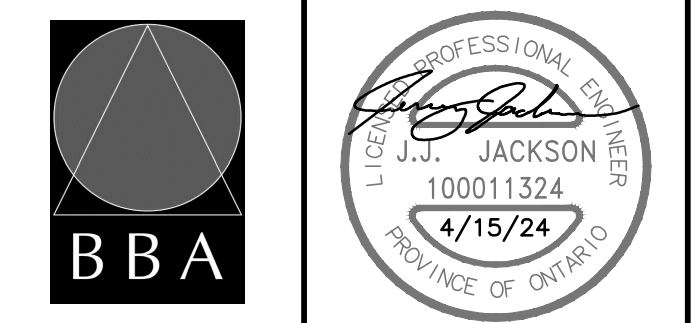
NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	03.20.2024	AS
2	ISSUED FOR TENDER	04.15.2024	JJ

NO.	REVISIONS	DATE	BY



PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
 3425 ON-35
 NEWCASTLE, ON L1B1L9
 KAWARTHA PINE RIDGE
 DISTRICT SCHOOL BOARD

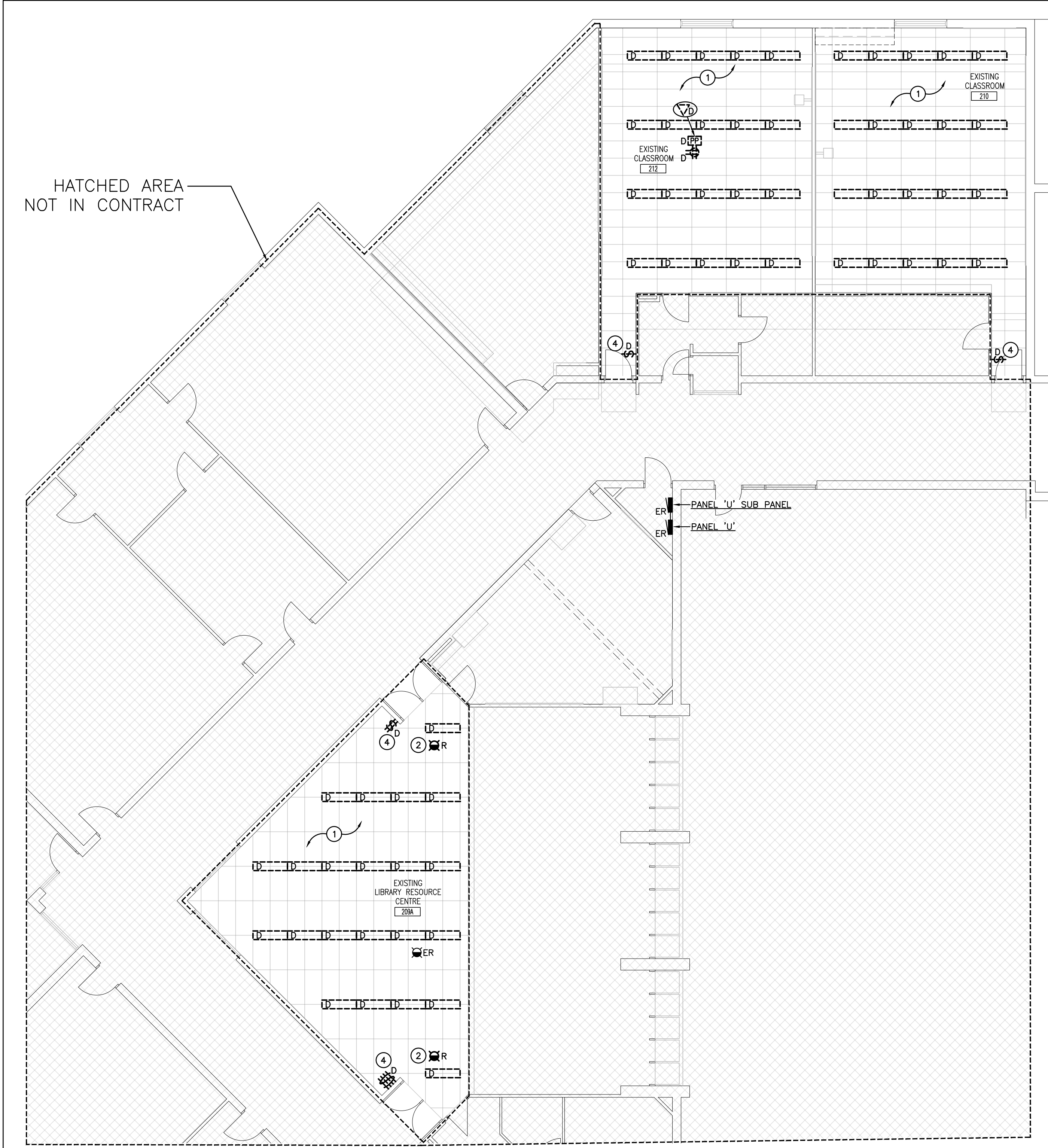
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DESIGN BY: AS
 DRAWN BY: JAG
 CHECKED BY: JJ
 DATE: APRIL 2024
 SCALE: AS NOTED
 FILE:

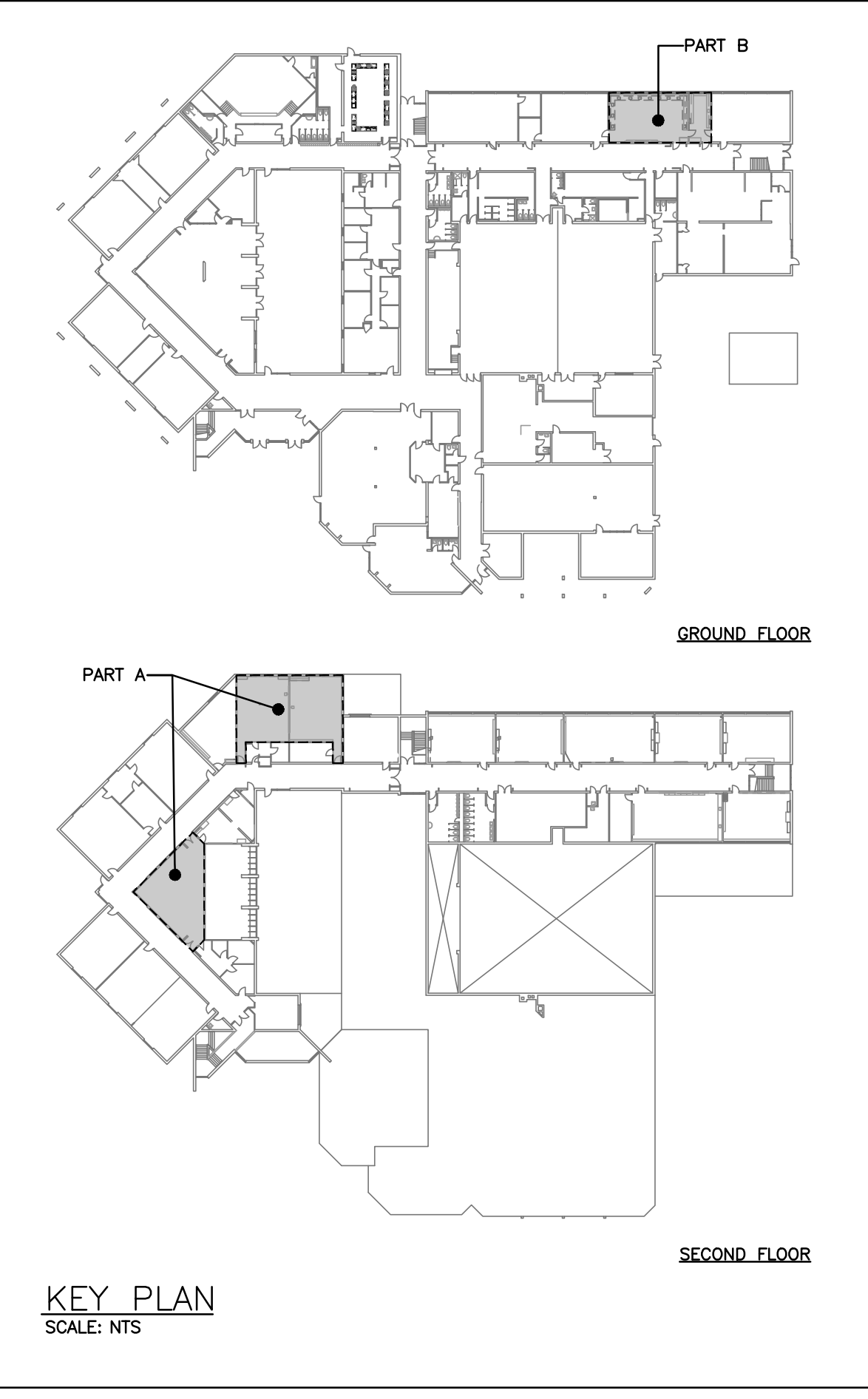
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 DRAWING NO: **E101**



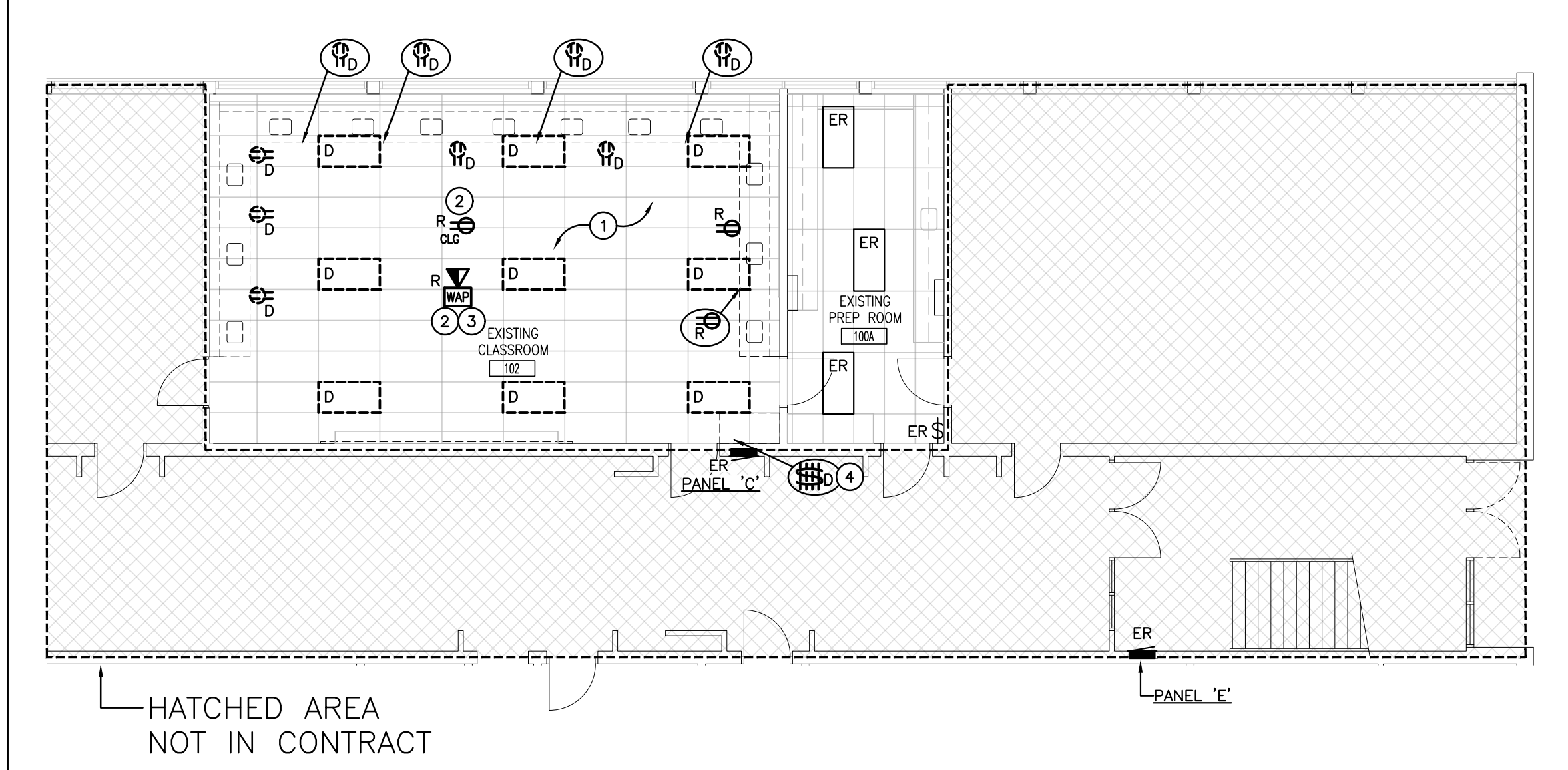
SECOND FLOOR DEMOLITION PLAN – PART A
SCALE: 1:100

- ### GENERAL DEMOLITION NOTES
- 'ER' DENOTES EXISTING ITEM TO REMAIN.
 - EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
 - 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
 - 'D' INDICATES EXISTING ITEM TO BE DELETED, UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
 - ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.

- ### SPECIFIC DEMOLITION NOTES
1. EXISTING FIXTURES ARE TO BE REMOVED. REWORK EXISTING WIRING AND CIRCUIT FOR RECONNECTION TO NEW. REFER TO RENOVATION PLAN FOR CONTINUATION.
 2. MAINTAIN EXISTING CEILING MOUNTED DEVICES AND WIRING FOR RE-INSTALLATION ON NEW CEILING TILES AFTER CEILING TILE REPLACEMENT.
 3. MAINTAIN EXISTING DATA CABLING COILED IN CEILING SPACE FOR RE-USE IN RENOVATION PLAN.
 4. MAINTAIN EXISTING BACKBOXES FOR NEW LIGHTING CONTROLS IN RENOVATION PLAN.



KEY PLAN
SCALE: NTS



GROUND FLOOR DEMOLITION PLAN – PART B
SCALE: 1:100

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
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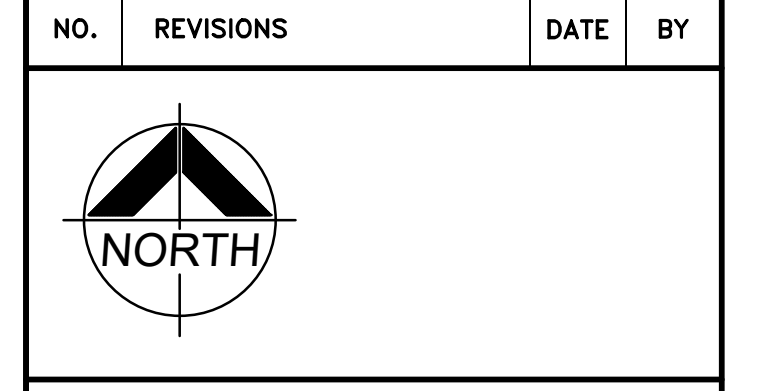
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KPR
Kawartha Pine Ridge
District School Board

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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

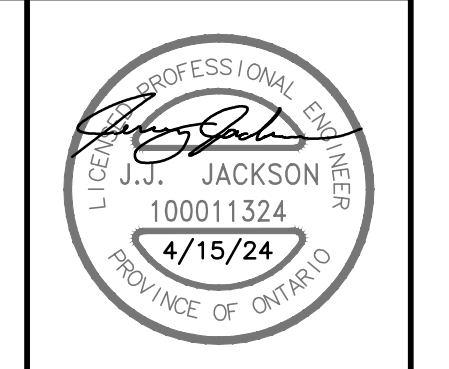
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DEMOLITION PLANS PART A & B

BBA

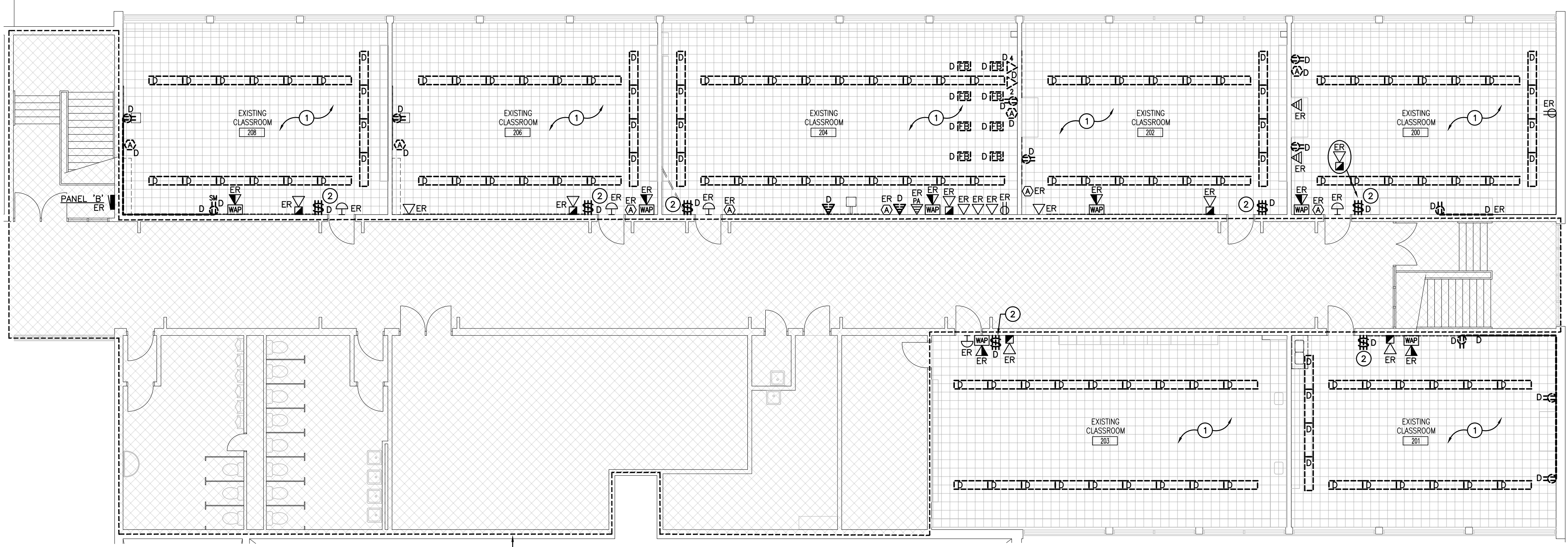
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DATE: APRIL 2024
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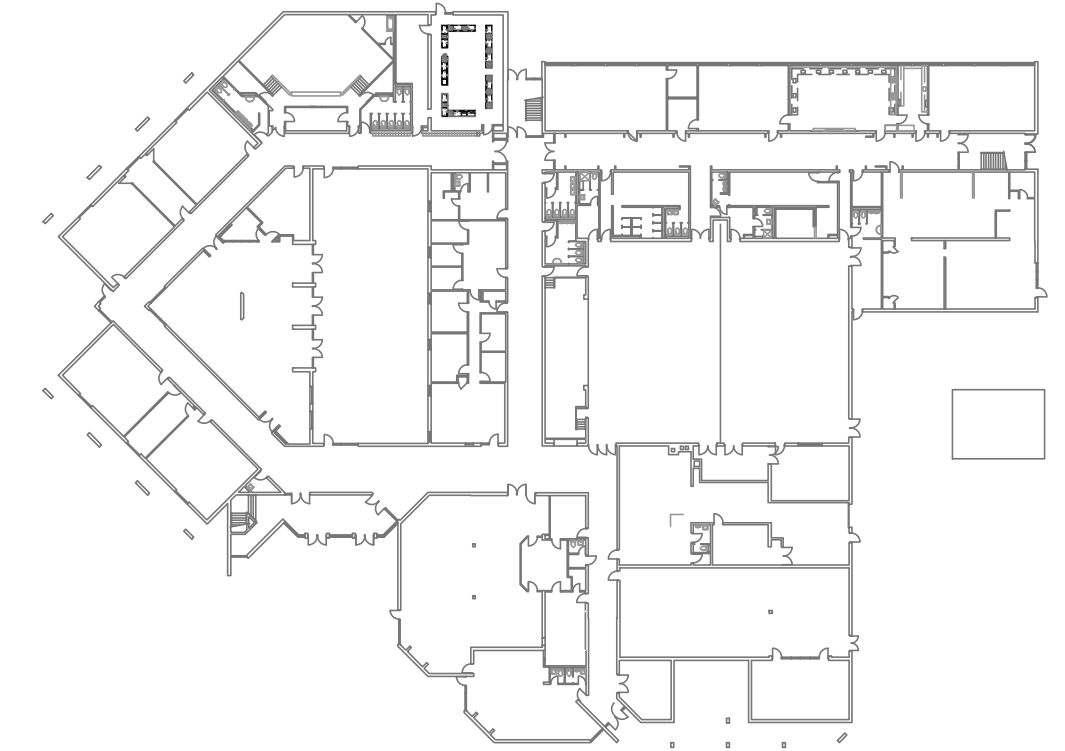


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DRAWING NO: **E201**



HATCHED AREA
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SECOND FLOOR DEMOLITION PLAN – PART C
SCALE: 1:100



KEY PLAN
SCALE: NTS

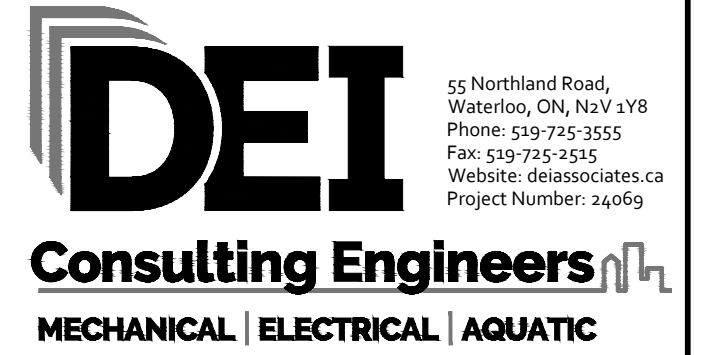
GENERAL DEMOLITION NOTES

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- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.
- MAINTAIN EXISTING CEILING MOUNTED DEVICES AND WIRING FOR RE-INSTALLATION ON NEW CEILING TILES AFTER CEILING TILE REPLACEMENT.

SPECIFIC DEMOLITION NOTES

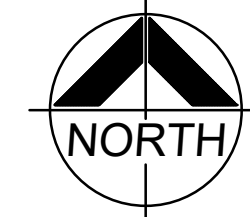
- EXISTING FIXTURES ARE TO BE REMOVED. REWORK EXISTING WIRING AND CIRCUIT FOR RECONNECTION TO NEW. REFER TO RENOVATION PLAN FOR CONTINUATION.
- MAINTAIN EXISTING BACKBOXES FOR NEW LIGHTING CONTROLS IN RENOVATION PLAN.

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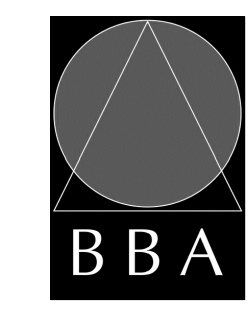
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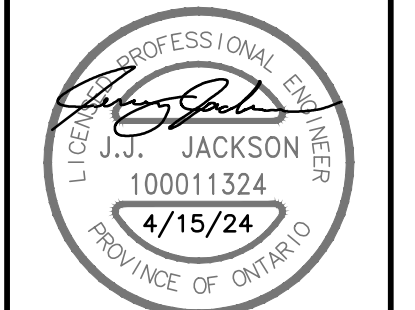


PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
DEMOLITION PLANS PART C



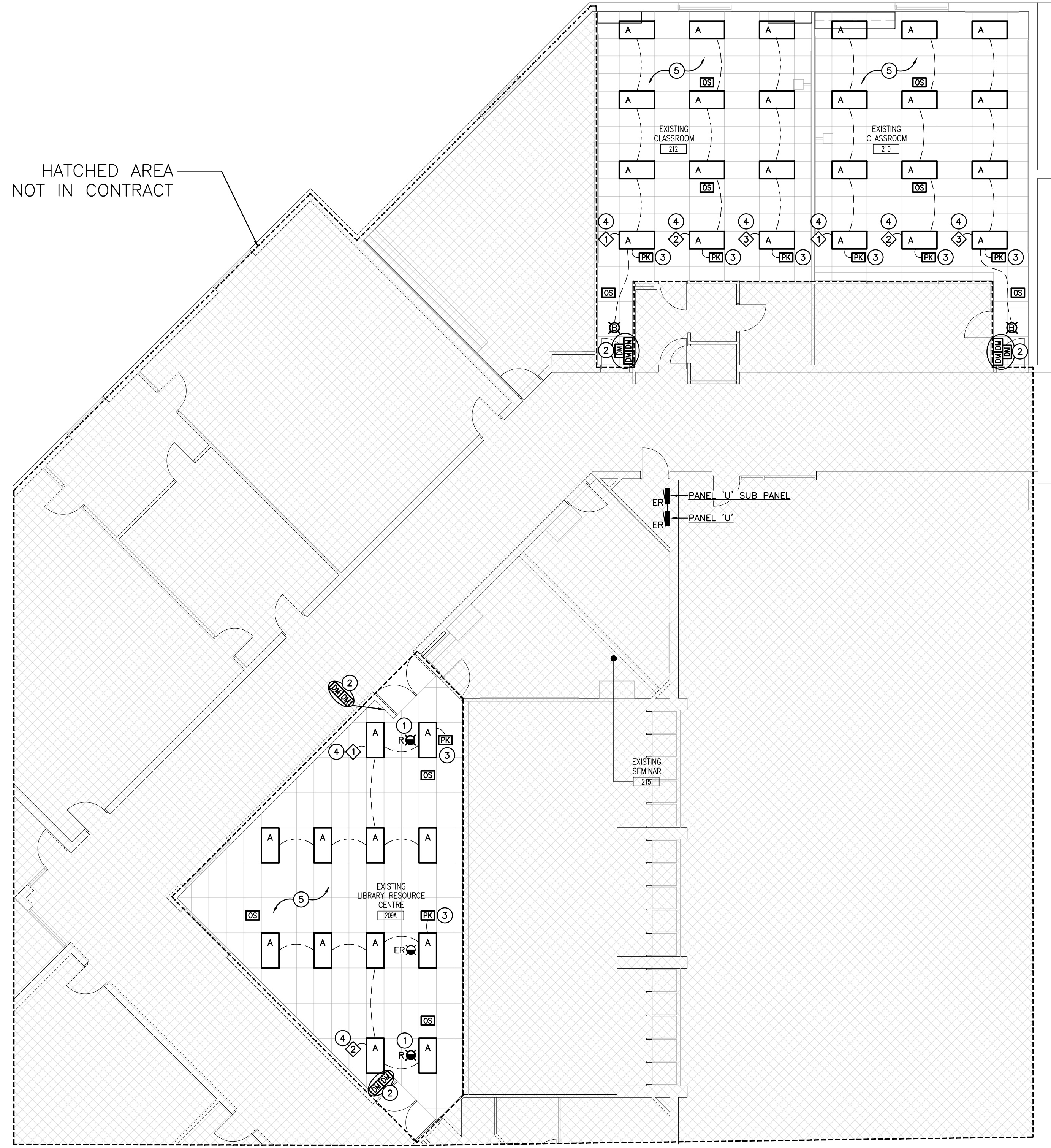
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DRAWING NO: **E202**

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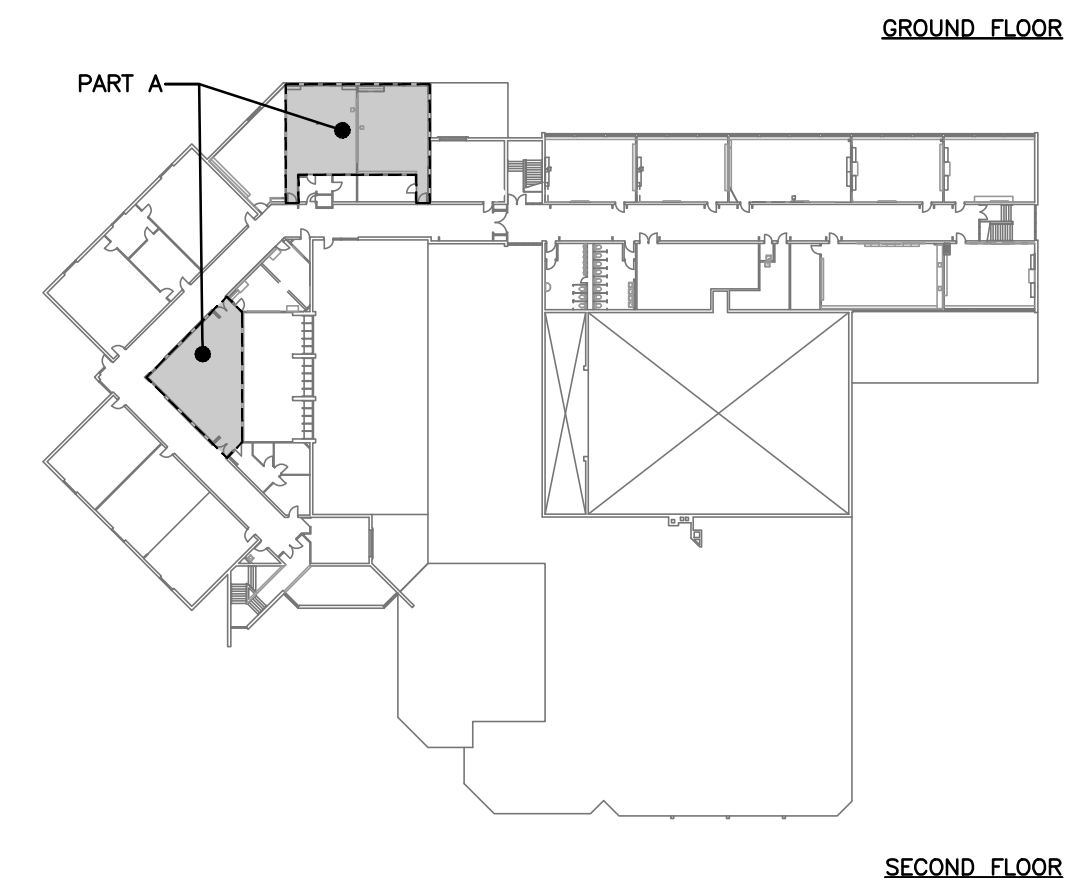
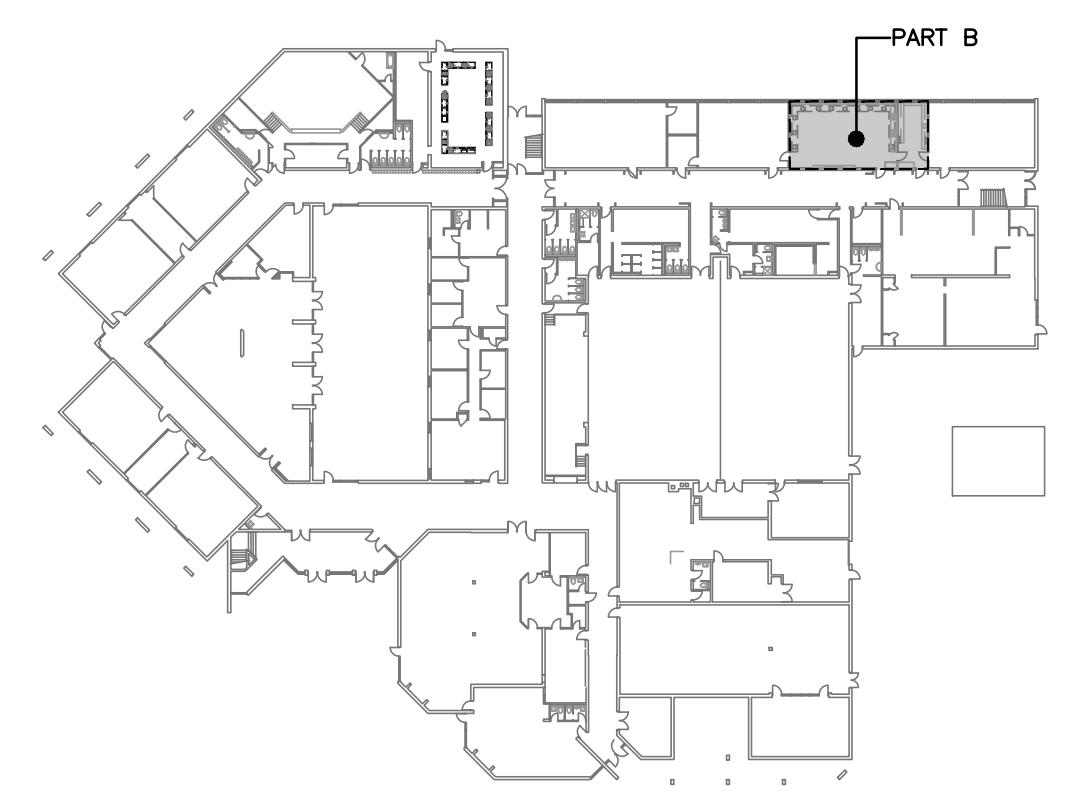
SECOND FLOOR RENOVATION PLAN – PART A
SCALE: 1:100

GENERAL RENOVATION NOTES

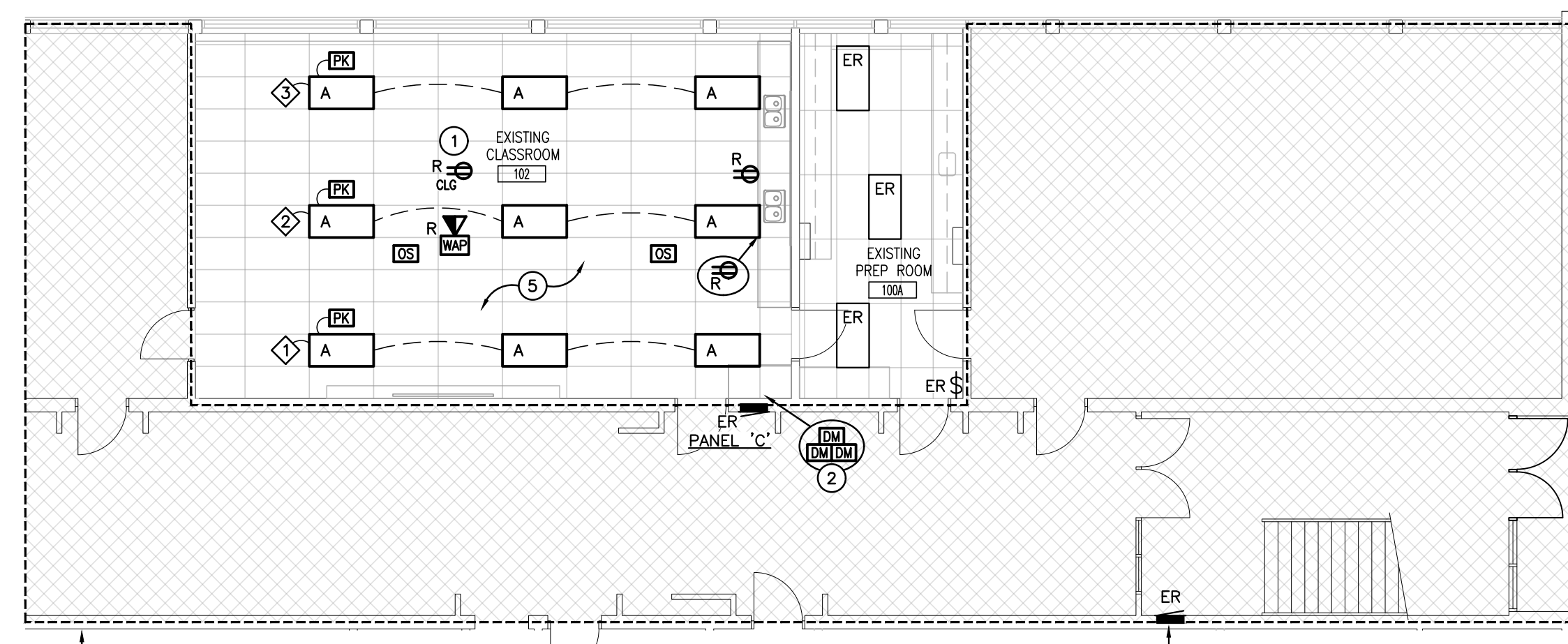
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- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- 1 RECONNECT RELOCATED DEVICE TO EXISTING WIRING TO SUIT CEILING TILE REPLACEMENT.
- 2 INDICATED CONTROL STATIONS IN PLACE OF DEMOLISHED CONTROLS ARE TO REUSE EXISTING BACKBOXES AND CONDUIT TO CEILING SPACE. PROVIDE NEW COVER PLATE TO SUIT NEW CONTROL(S).
- 3 INDICATES DIGITAL RELAY(S) WITHIN ACCESSIBLE CEILING SPACE FOR CONTROL OF NOTED OCCUPANCY SENSOR(S) TO BE CONNECTED TO EXISTING LOCAL LIGHTING CIRCUIT.
- 4 INDICATES CONTROL ZONE GROUPS OF LIGHT FIXTURES WITHIN EACH AREA. REFER TO LIGHTING CONTROL DETAILS AND SEQUENCE OF OPERATION.
- 5 INDICATED LIGHT FIXTURES AND CONTROLS TO BE CONNECTED TO EXISTING LOCAL LIGHTING CIRCUIT.



KEY PLAN
SCALE: NTS



HATCHED AREA
NOT IN CONTRACT

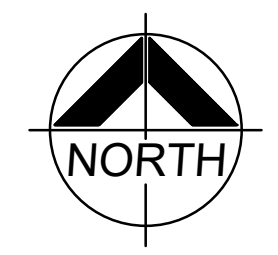
GROUND FLOOR RENOVATION PLAN – PART B
SCALE: 1:100

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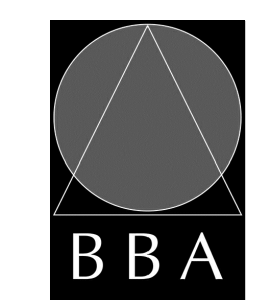
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PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
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KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
RENOVATION PLANS PART A & B



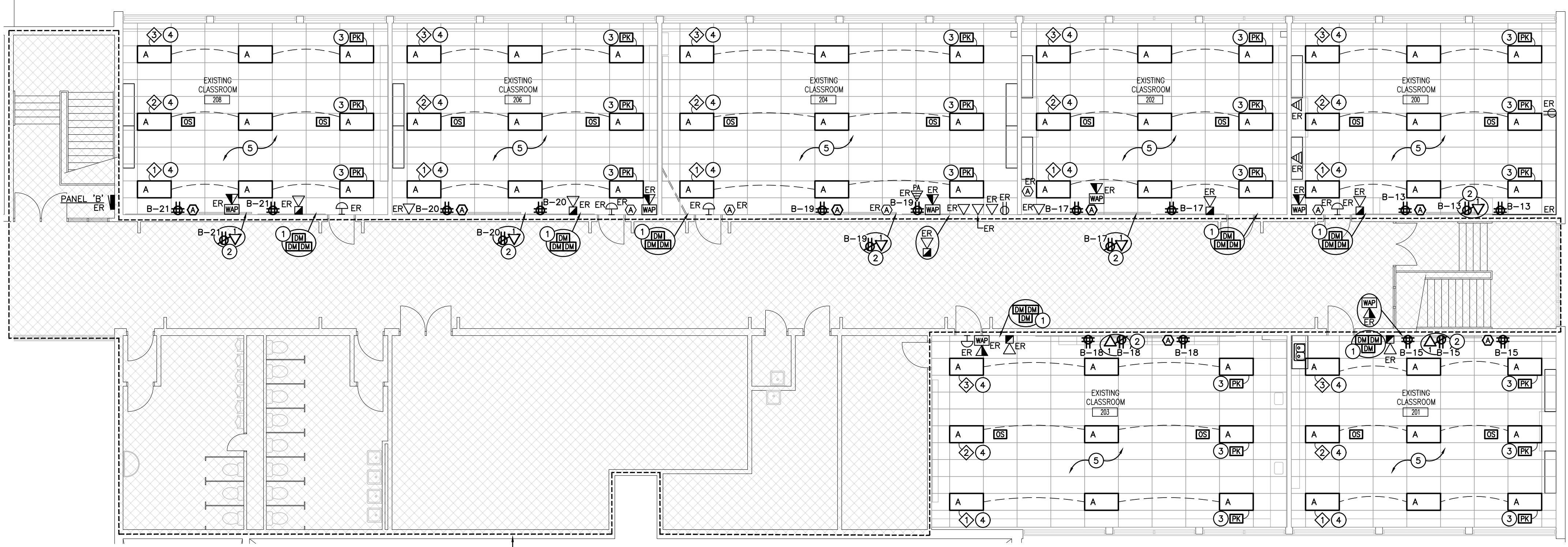
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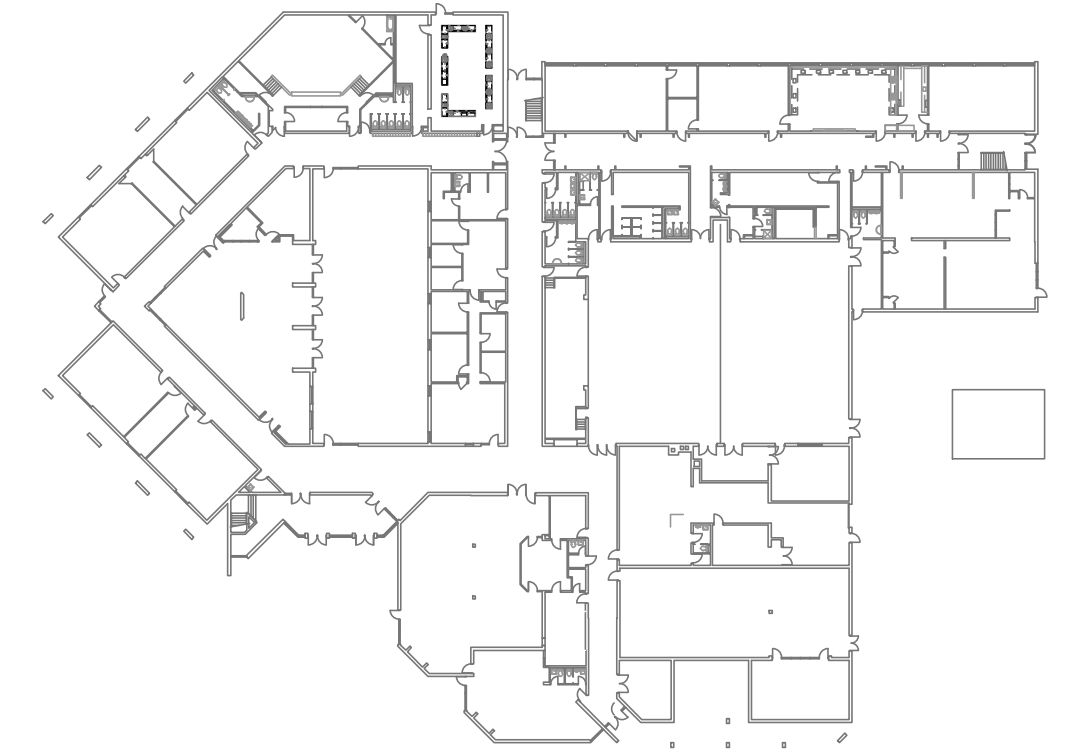
PROJECT NO:
24035

DRAWING NO:
E301



HATCHED AREA
NOT IN CONTRACT

SECOND FLOOR RENOVATION PLAN – PART C
SCALE: 1:100



KEY PLAN
SCALE: NTS

GENERAL RENOVATION NOTES

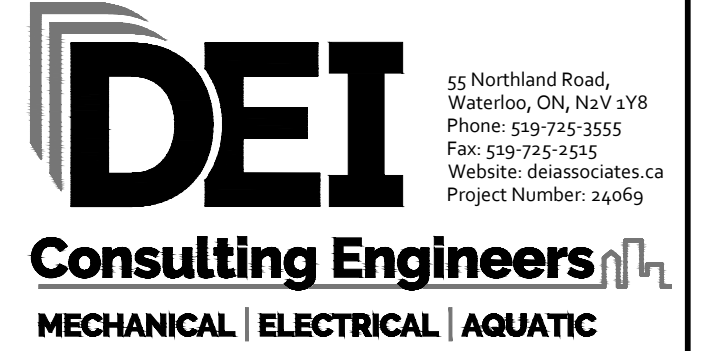
- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- INDICATED CONTROL STATIONS IN PLACE OF DEMOLISHED CONTROLS ARE TO REUSE EXISTING BACKBOXES AND CONDUIT TO CEILING SPACE. PROVIDE NEW COVER PLATE TO SUIT NEW CONTROL(S).
- INDICATES DEVICES TO BE INSTALLED AT HIGH LEVEL FOR PROJECTOR TO A MAXIMUM OF 3048mm AFF. CONFIRM EXACT LOCATION AND MOUNTING HEIGHT WITH SCHOOLBOARD REPRESENTATIVE PRIOR TO ROUGH-IN. REFER TO PROJECTION SCREEN LAYOUT DETAIL A/E101.
- INDICATES DIGITAL RELAY(S) WITHIN ACCESSIBLE CEILING SPACE FOR CONTROL OF NOTED OCCUPANCY SENSOR(S) TO BE CONNECTED TO EXISTING LOCAL LIGHTING CIRCUIT.
- INDICATES CONTROL ZONE GROUPS OF LIGHT FIXTURES WITHIN EACH AREA. REFER TO LIGHTING CONTROL DETAILS AND SEQUENCE OF OPERATION.
- INDICATED LIGHT FIXTURES AND CONTROLS TO BE CONNECTED TO EXISTING LOCAL LIGHTING CIRCUIT.
- INDICATES EXISTING PANEL 'B' (AEC TYPE NLAB 90A 120/208V, 3PH, 4W, 42 CIRCUIT (10 SPARES)). RE-USE SPARE BREAKER AND FEED TO NEW LOADS AS FOLLOWS. PROVIDE NEW TYPED/PANEL DIRECTORY.

CIRCUIT	SPARE BREAKER	DESCRIPTION
B-13	15A-1P	200 TEACHING WALL REC.
B-15	15A-1P	201 TEACHING WALL REC.
B-17	15A-1P	202 TEACHING WALL REC.
B-18	15A-1P	203 TEACHING WALL REC.
B-19	15A-1P	204 TEACHING WALL REC.
B-20	15A-1P	205 TEACHING WALL REC.
B-21	15A-1P	208 TEACHING WALL REC.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
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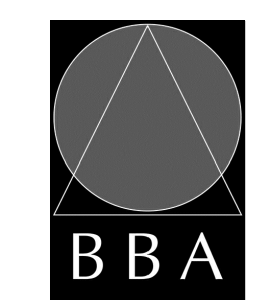
NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	03.20.2024	AS
2	ISSUED FOR TENDER	04.15.2024	JJ

NO.	REVISIONS	DATE	BY



PROJECT:
RENOVATIONS TO CLARKE HIGHSCHOOL
3425 ON-35
NEWCASTLE, ON L1B1L9
KAWARTHA PINE RIDGE
DISTRICT SCHOOL BOARD

DRAWING:
RENOVATION PLANS PART C



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DESIGN BY: AS	DOC. CONTROL: DATE:
DRAWN BY: JAG	% COMPLETE:
CHECKED BY: JJ	INITIAL:
DATE: APRIL 2024	
SCALE: AS NOTED	
FILE:	

PROJECT NO: **24035** DRAWING NO: **E302**